

***Historic Preservation Commission
Agenda
April 15, 2013***

**Council Chambers, 2nd floor of City Hall
City Hall, 749 Main Street
7:00 – 9:00 PM**

- I. Call to Order
- II. Roll Call
- III. Approval of Agenda
- IV. Approval of Minutes - **March 18, 2013**
- V. Public Comments on Items Not on the Agenda
- VI. Pre filing Conference – none
- VII. **PUBLIC HEARING – Grant Request – 700 Lincoln**
- VIII. **PUBLIC HEARING – Demolition Request – 844 Spruce**
- IX. Discussion – Loans from the HPF
- X. Discussion – Comprehensive Plan Cultural Heritage Section
- XI. Committee Reports –
 - Outreach committee
 - Commercial incentives workshop
 - LRC liaison
- XII. Update on Demolition Requests - 1041 Grant, 701 Walnut, 939 Lincoln, 721 Front
- XIII. Update on Alteration Certificates – 612 Grant
- XIV. Discussion/Comments on Planning Department Referrals –
 - Coal Creek Station
- XV. Updates –
 - Grain Elevator
 - Reconnaissance Survey / Austin-Niehoff HSA / Jefferson Place
- XVI. Items from Staff -
- XVII. Items from Commission Members – Certificates of Appreciation
- XVIII. Discussion Items for Next Meeting – **May 20, 2013**
- XIX. Adjourn

Historic Preservation Commission

Meeting Minutes

**March 18, 2013
City Hall
749 Main Street
7:00 PM**

Call to Order – Chairperson Peter Stewart called the meeting to order at 7:02 PM.

Roll Call:

Commission Members Present:

Mike Koertje, Peter Stewart, Kirk Watson, and Lynda Haley

Commission Members Absent:

Heather Lewis and Jessica Fasick

City Representatives:

Scott Robinson, Planner I

Approval of Agenda

Koertje noted 927 Main Street is not on the agenda. It was discussed at the last meeting it would be brought to this meeting.

Robinson stated the applicant had withdrawn the application and intended to reapply at a later date.

Approval of Minutes

Stewart recommended they look at February 18, 2013 meeting minutes. Koertje requested a minor modification. Koertje made a motion to approve as amended. Stewart seconded the motion. The minutes were approved by voice vote.

Public Comment – None

Pre-filing Conference – None

Public Hearing – Landmark Request – 925 LaFarge Avenue

Stewart opened the item.

Robinson presented the information provided in staff's report.

City of Louisville

Planning and Building Safety Dept. 749 Main Street Louisville CO 80027
303.335.4592 (phone) 303.335.4550 (fax) www.ci.louisville.co.us

Questions of Staff

Koertje asked if the landmark request was for the primary structure and the accessory structures.

Robinson stated it was only for the primary structure.

The applicant, Mark Brunner, presented. He is landmarking to prevent scraping.

Koertje asked if the name of the structure is acceptable.

Brunner answered in the affirmative.

Public Comments - None

Commission Comments

Koertje stated this structure appears to comply with architectural and social significance.

Haley stated this structure is part of the Jefferson Place Subdivision, which is very important.

La Grave agreed and added he is impressed with the applicant adhering to his promise, to the previous owner, to landmark this structure.

Watson asked for specifics on the landmark application so they know exactly what they are landmarking.

Stewart stated generally it is the primary structure that is landmarked, but the accessory structures will be protected as well due to their age.

Watson asked if the applicant has a desire of what is included in the landmarking.

Brunner stated he did not anticipate landmarking any other structures but would be interested in hearing the commission thoughts.

Watson stated he was uncomfortable in landmarking anything other than the primary structure since there has not been any additional review on the other structures.

Watson made a motion to approve the request.

Haley seconded the motion.

Motion passed 5-0.

Public Hearing – Grant Request – 700 Lincoln

Robinson presented the information provided in staff's report, including the contractors bids for the asphalt shingles and the slate shingles.

Watson asked if there was any evidence of what historical roofing was there.

Tommi McHugh, applicant, answered from the audience but it was inaudible.

Stewart asked if the HSA included roofing as a top priority.

Robinson stated it was listed as number one.

Stewart asked why slate was recommended instead of wood shingles.

McHugh stated it was frowned upon by Boulder County to use actual wood shingles.

Watson stated Boulder County does not have jurisdiction in this area. He discussed how it would have been nice having wood shingles. He added the asphalt shingles look like wood and he was fine with that request.

Discussion ensued between Watson and the applicant regarding the various roofing material types.

Stewart explained the difference between a wood shake and wood shingle. He recommended putting on a wood shingle similar to the roofing found on the Arts Center.

Watson stated a wood shingle probably does not last as long as an asphalt shingle, and protection of the roof is more important.

Discussion ensued regarding tabling this item to further discuss wood shingles.

Koertje asked if there was any urgency to get the roofing completed.

McHugh stated it appears to be solid and she would be willing to research wood shingles.

Stewart made a motion to continue this item to the next meeting.

La Grave seconded the motion.

Motion carried 5 – 0.

Discussion – Grain Elevator development partner recommendation

Aaron DeJong, Economic Development Director, presented and gave background of the Grain Elevator purchase and the RFP process. He stated staff is recommending the Old Town Group based their approach, experience with historic preservation and the cost estimate is based on the restoration and preservation.

Koertje asked what the HPC's role was tonight.

DeJong was asking for a recommendation from the HPC.

La Grave asked why the other applicant was not invited to attend, then asked about the letter received by the other applicant.

DeJong gave a reasoning why he proceeded with only one applicant.

Watson asked for clarification on what the two RFP's were.

DeJong stated the Old Town Group is requesting to bring the building to an adaptive reuse based on assistance from the City.

Watson asked what is the hard benefit to the city.

DeJong stated it would be the sales tax generated from this property being brought back into use – both the NAPA building and the Grain Elevator. He then gave the financial statistics of the proposal.

Watson asked if there was an analysis done for the other group.

DeJong stated there will not be any sales tax generated because the other group is not recommending an adaptive reuse.

Discussion ensued as to the potential benefits of the building if it were not reused and just sat vacant.

La Grave asked if the conservation easement would be in place before the transfer of ownership.

DeJong answered in the affirmative.

Watson stated he has an issue with giving the building away after paying for the purchase and rehabilitation of the building.

Stewart asked if money might be available from the LRC.

DeJong stated it certainly could.

Stewart stated some of the struggle we are looking at is this appears to be a redevelopment project, not a preservation process.

La Grave asked why we need a development partner.

DeJong stated City Council has stated they do not want long term ownership and want this structure to be reused.

La Grave asked if the only way to do this would be to gift the property.

DeJong stated there might be other options such as leasing or putting the property up for sale.

DeJong answered in the affirmative, but stated that was not the direction he received from City Council.

Steve Howards, principal of Old Town Group, presented.

Howards answered questions that were raised. He stated their group is sensitive as to how the City protects its interest. He emphasized they are very excited about the preservation of the structure, as well as the adaptive reuse.

La Grave stated this is an important decision because the citizens of Louisville chose to tax themselves for preservation.

Howards stated they are very sensitive to this citizen's interest in this program and this structure. He says now is the time to move forward in restoring this structure so it isn't lost forever.

Howards went through the PowerPoint presentation of their proposal. The main points of the proposal were:

- Place the elevator as the primary focus
- Entice a user who is long term and who cares about the space
- The NAPA building will have to come down because it obstructs the Grain Elevator
- There needs to be financial transparency
- Anything done on this property needs to be done to uphold the elevator

Stewart thanked DeJong for bringing this information forward.

Public Comment

Erik Hartronft gave his professional background and involvement within Louisville. He stated Mike Kransdorf should be credited for saving the building. He stated the following:

- The proposal he originally made with Kransdorf was very similar to what is currently being considered.
- The primary difference is the City now owns the building and they should take a breath and figure it out - approach it in steps.
- If we can get the building to where people can walk through it without respirators, it will be more enticing.
- Consider moving the museum inside the Grain Elevator, turn the remainder of the site into an historic park, and turn over the museum campus to a commercial site.

John Leary stated this project has had good intentions but has not been truly thought out. He stated he liked the Old Town Group proposal but he doesn't think it is quite there yet. Public parking should not be overlooked.

Ashley Stolzmann stated there are now opportunities existing for this site since the city has ownership. She added the building needs to be landmarked, stabilized and the hazmat removed. She stated she likes the idea of having a museum there. She added she did not believe a parking lot is a good idea, because that would not be a wise use of preservation funds.

Randy Caranci, owner of the warehouse to the south, stated there is an encroachment of the elevator on his property that needs to be resolved.

Stewart asked why the costs go up after the property is platted.

Caranci said it was based on the public land dedication requirement.

La Grave stated the HPC is committed to the stabilization of the structure and the landmarking. He recommended we take some time to consider our options after the stabilization and landmarking.

Koertje agreed but stated that is not the direction council gave staff. He added we can't recommend something different.

Watson asked about the tax credit option Howards spoke about. He added, based on the pro forma provided by the applicant, most of the HPF will be depleted through this project.

Robinson addressed the question regarding the remaining HPF.

La Grave asked how the public was involved during this process. He stated it appears there is a single use nature in the RFP which provides a bias as to the potential outcome.

Stewart stated the structure was purchased through preservation funds and should be treated as a preservation project first. If we go forward with the stabilization it might generate more interest in the project. He recommends city council move forward with stabilization now and work later on the re-purposing of the structure.

La Grave stated his agreement with Stewart. He also recommended doing another RFP that allows alternative uses.

Watson recommended an RFP, to consulting contractors, for cost estimates to rehabilitate the structure.

Stewart stated this information can come from an architect or engineer. He added it might be best to find out what tax credits might be available for the structure.

DeJong stated if the city does the stabilization then there are no tax credits. The city is eligible for competitive grants.

Hartronft stated they went in depth with a tax advisor about tax credits and they eventually run out before you can use them up, unless you are very wealthy and can benefit from the tax breaks.

Howards stated they would probably sell off the tax credits at 50 cents on the dollar because they can't use them. He said these are details that still need to be worked out.

La Grave asked why shouldn't the city move forward with the stabilization and then bring someone in through the RFP process.

Howards stated there isn't a developer out there who will work with the city on an exact amount to stabilize the structure.

La Grave stated he didn't imagine a developer being in charge of that aspect – it would more likely be an architect or an engineer.

Stewart asked what is the benefit to have a developer involved in the first two phases.

Nan Anderson, project architect, stated there is a process known as public private partnership that should begin in the beginning of a project so there is transparency all the way through.

La Grave asked if it was cheaper to go this route. He stated he did not think so.

Anderson stated there definitely is a risk but there are a lot of risks involved with this project.

Stewart stated he believes that is the point, we are trying to determine when to hand off that risk.

Discussion ensued as to the benefit of having a developer involved now or later.

Watson stated if this project is poorly managed the HPF could run dry.

Howards stated that is why our RFP is based on phases, so you could see the potential costs.

Stewart stated this is a difficult decision but it is more apparent why a developer should be included from the beginning. He added he would rather pass forward a recommendation for process and not which team to choose.

Watson recommends approving the hazmat cleanup to allow for people to go in to look at the building. He added he cannot recommend approval of the proposal as written because there are too many unknowns.

Koertje asked if the commission was recommending a completely different process than what Council approved as direction for staff.

Discussion ensued regarding the intent of the recommendation.

Haley stated she agreed with Koertje that the process should not be changed.

La Grave recommends Council to reject both proposals at this time, while allowing the stabilization to happen.

Discussion ensued regarding the RFP itself.

Koertje made a motion to go forward with the Old Town Group, with the contract coming back to HPC with more specifics.

Discussion ensued regarding the motion.

Stewart recommended we take two more steps before we go forward with a recommendation with a developer.

La Grave stated there were far too many unknowns to choose a respondent at this time.

Koertje asked if there was a second to his motion.

Haley seconded the motion.

Watson stated there wasn't enough information to make a decision.

Motion fails 2-3 (Koertje and Haley aye).

La Grave recommended a second motion to pursue stabilization, options available, and a new RFP.

Watson made a motion to forward a recommendation to Council to pursue basic safety stabilization, detoxification, and pursue a better definition of the RFP.

La Grave seconded the motion.

Motion carries 4 – 1 (Koertje no)

Discussion – State grant application for Grain Elevator

Stewart opened the item and asked for a presentation from DeJong.

DeJong presented the items in the packet.

Watson stated he doesn't see anything in regards to detoxification.

DeJong stated it is included.

The commission approved the application by voice vote.

Adjourn

Koertje made a motion to adjourn.

Stewart agreed stating, due to the late hour, the other items could be readdressed at the next meeting.

Adjournment was at 10:47 p.m.

LOUISVILLE HISTORIC PRESERVATION COMMISSION

STAFF REPORT

March 18, 2013

ITEM: Case #2013-006-GRANT – request for a Preservation and Restoration Grant for work including new roofing material.

APPLICANT: Tommi and Mike McHugh
700 Lincoln Avenue
Louisville, CO 80027

OWNER: Same

PROJECT INFORMATION:

ADDRESS: 700 Lincoln Avenue
LEGAL DESCRIPTION: Lots 12, 13, and 14, Block 8, Pleasant Hill Addition
DATE OF CONSTRUCTION: 1904 - 1906

REQUEST: Request for a Preservation and Restoration Grant for work including new roofing material.



HISTORICAL BACKGROUND:

Information provided by historian Bridget Bacon

This property is part of the Pleasant Hill Addition subdivision, which was filed in 1894. The structure was built between 1904 and 1906. The building is owned by the applicants Tommi and Mike McHugh. Prior, the property had been owned by the Thomas family for 100 plus years.

Nicholas Sr. and Mary Thomas

Nicholas Thomas Sr. came to Louisville from England with his son, Nicolas Jr., to work in the coal mines. Mary Thomas was one of the founders of the Methodist Church in Louisville, still located at 741 Jefferson Avenue.

Nicholas Jr. and Elizabeth Thomas

Nicholas Jr. and Elizabeth were married in 1899 and had the house at 700 Lincoln built in either 1904 or 1906. Nicholas was a partner in the Big Six Coal Company which operated the Sunnyside Mine in the early 1900's. He then formed the Ko-Z Coal Company with his sons and operated the Fireside Mine in Louisville (for which Fireside Elementary is named). Nicholas Jr. and Elizabeth had eight children – all who were raised in the house.

Of the eight children, Quentin, Mary and Elizabeth were later owners of the house.

LANDMARK APPROVAL:

On September 6, 2011 City Council approved the landmark application for 700 Lincoln Avenue.

REQUEST:

The applicant, Tommi McHugh, is requesting the approval of a Preservation and Restoration Grant for rehabilitation work on the Thomas House and Garage located at 700 Lincoln Avenue. This item was continued from the March 18, 2012 HPC meeting.

The applicant obtained a historic structure assessment for the property, completed by Nan Anderson of Anderson Hallas Architects and paid for by the Historic Preservation Fund (HPF). The assessment (attachment 3) made the following priority recommendations:

1. Repair roofing and replace gutters on house.
2. Replace roofing on garage.
3. Replace basement screen door.
4. Repair shingles and flooring on front porch.
5. Repair garage windows.

The applicant then contacted three roofing companies to perform the roofing repair and replacement work, along with the gutter work. Only two companies provided bids: Boulder Roofing and Excel Roofing. Boulder Roofing only provided a bid for asphalt shingles on the house, while Excel Roofing provided bids for asphalt and wood shingles

on the house and garage, as well as the gutters. Excel originally provided a bid for slate shingles, but HPC requested a bid for wood shingles be supplied instead. Excel Roofing also provided a quote for new roof insulation in the house. The bids break down as follows:

Item	Boulder	Excel
Asphalt shingles (house)	\$17,728	\$15,013
Wood shingles (house)	n/a	\$25,455
Asphalt shingles (garage)	n/a	\$4,184
Wood shingles (garage)	n/a	\$8,659
Gutters	n/a	\$1,896
Insulation	n/a	\$645

Staff recommends the Excel Roofing wood shingles, considering Excel was the only company to provide a full quote and on the one comparable item, had significantly lower cost. The cost of the wood shingles for both the house and garage is \$34,114, compared to \$19,197 for the asphalt. Evidence indicates the house originally had wood shingles and wood shingles are a more historically appropriate material than asphalt. Details like windows and roofs contribute greatly to historic character, especially with the modest architecture common in Louisville. Therefore staff has determined the wood shingles are an appropriate use of HPF monies. Staff also recommends grants for the gutters, because they are a priority item and required by building code. Staff does not recommend a grant for the insulation work because the cost of roof and gutter work exceeds the value of the available grants.



1948 Assessor's Photo

INCENTIVES:

According to Section 15.36.030, City Council is afforded the legislative ability to provide preservation incentives for those wishing to landmark their historical structure. Once the structure is approved for landmarking, the applicant may act on one or more of the incentives offered.

As part of the landmark process, City Council approved two incentives: a \$1,000 signing bonus and a \$900 structural assessment grant. The signing bonus has no restrictions on how it may be used, and the assessment grant may only be used for an assessment.

Resolution 2, Series 2012 authorizes grants for landmarked residential structures of up to \$21,900, leaving a potential \$20,000 remaining to be awarded for this house. That is divided between a \$5,000 flexible grant, requiring no matching, and a \$15,000 focused grant, requiring a 100% match from the applicant.

Section 3(a) of Resolution 2 states: “For a period of 18 months from when a property is declared a landmark... the owner of the property shall be eligible for a grant from the Historic Preservation Fund in the amount of up to \$5,000...” This property was landmarked on September 6, 2011, making the eligibility period end on March 6, 2013. Because the City received this grant application before the March 6 deadline, staff believes the applicant is eligible for the \$5,000 grant.

Because the garage was landmarked along with the house (see attachment 2), the roof work on the garage is eligible for grant funding. Roofing and gutters are general preservation work eligible under both the flexible and focused grant. As the cost of roof and gutter work exceeds the value of the available grants, staff does not recommend a grant for the insulation work listed in the bid. The grants recommended by staff are as follows:

Item	Amount	Flexible	Focused	Match	Excess
House roof	\$25,455	\$0	\$12,222.50	\$12,222.50	\$1,010
Garage roof	\$8,659	\$3,104	\$2,777.50	\$2,777.50	\$0
Gutters	\$1,896	\$1,896	\$0	\$0	\$0
Total	\$36,010	\$5,000	\$15,000	\$15,000	\$1,010

The above results in a grant request of **\$20,000** with an applicant match of \$15,000 with a surplus of \$1,010 to be paid by the applicant. This is the maximum allowed grant under Resolution No. 2, Series 2012, so there is no grant money available for a contingency.

FISCAL IMPACT

Expenditure of up to \$20,000 from the Historic Preservation Fund for restoration work at the Thomas House and Garage located at 700 Lincoln Avenue.

The following table depicts the expenditures from the Historic Preservation Fund since its inception:

City of Louisville, Colorado
Historic Preservation Fund
Schedule of Expenditures by Year
2009 - 2012

	Administration/Operations			Grants & Acquisitions				Total Expend
	Admin	Services	Other	Incent	Restor	Aquistn	Other	
Expenditures - 2009:								
Administration	8,884	-	-	-	-	-	-	8,884
Total Expenditures - 2009	8,884	-	-	-	-	-	-	8,884
Expenditures - 2010:								
Administration	33,056	-	-	-	-	-	-	33,056
Jefferson Place Survey	-	11,550	-	-	-	-	-	11,550
Grants:								
557 Jefferson Avenue	-	-	-	1,000	2,298	-	-	3,298
1117 Jefferson Avenue	-	-	-	1,000	-	-	-	1,000
1131 Jefferson Avenue	-	-	-	1,000	7,719	-	-	8,719
1109 LaFarge Avenue	-	-	-	1,000	-	-	-	1,000
816 McKinley Avenue	-	-	-	1,000	-	-	-	1,000
501 South Street	-	-	-	1,000	-	-	-	1,000
Total Expenditures - 2010	33,056	11,550	-	6,000	10,017	-	-	60,623
Expenditures - 2011:								
Administration	44,521	-	-	-	-	-	-	44,521
Jefferson Place Survey	-	6,000	-	-	-	-	-	6,000
Grain Elevator Assessment	-	38,496	-	-	-	-	-	38,496
Other - Videotape	-	-	75	-	-	-	-	75
Grants:								
1117 Jefferson Avenue	-	-	-	5,000	6,940	-	-	11,940
1131 Jefferson Avenue	-	-	-	-	6,820	-	1,700	8,520
1109 LaFarge Avenue	-	-	-	-	17,769	-	-	17,769
816 McKinley Avenue	-	-	-	-	4,100	-	-	4,100
501 South Street	-	-	-	-	12,021	-	-	12,021
1021 Jefferson Avenue	-	-	-	1,000	-	-	-	1,000
557 Jefferson Avenue	-	-	-	-	460	-	-	460
700 Lincoln Avenue	-	-	-	1,000	-	-	-	1,000
1145 Main Street	-	-	-	1,000	-	-	-	1,000
Acquisitions:								
817 Main Street	-	-	-	-	-	59,573	-	59,573
Total Expenditures - 2011	44,521	44,496	75	8,000	48,110	59,573	1,700	206,475
Expenditures - 2012 (preliminary):								
Administration	51,674	-	-	-	-	-	-	51,674
Jefferson Place Survey	-	5,000	-	-	-	-	-	5,000
Austin-Nieuhoff Strucutre Assmt	-	14,293	-	-	-	-	-	14,293
Grants:								
501 South Street	-	-	-	-	1,618	-	-	1,618
612 Grant Avenue	-	-	-	1,000	-	-	900	1,900
1005 Lafarge Avenue	-	-	-	1,000	14,133	-	-	15,133
733 Pine	-	-	-	1,000	-	-	765	1,765
1021 Jefferson	-	-	-	-	-	-	900	900
1131 Jefferson Avenue	-	-	-	-	10,860	-	-	10,860
Acquisitions:								
Grain Elevator	-	-	-	-	-	956,706	-	956,706
Total Expenditures - 2012	51,674	19,293	-	3,000	26,611	956,706	2,565	1,059,849
Total Expenditures To-Date	138,135	75,339	75	17,000	84,738	1,016,279	4,265	1,335,831

RECOMMENDATION:

The historic structure assessment created a priority list of five items, and two of those items (house roof and gutters and garage roof) are addressed in this request. Both items are preservation work contemplated in Resolution 2, Series 2012. Therefore, staff recommends that the HPC approve the grant request of **\$20,000** by approving

Resolution No. 5, Series 2013.

SUPPORTING DOCUMENTATION AND INFORMATION:

Attached for your review are the following supporting documents:

1. Resolution No. 5, Series 2013
2. Council landmark resolution
3. Historic structure assessment
4. Excel asphalt shingle bid
5. Excel wood shingle bid
6. Boulder Roofing bid

**RESOLUTION NO. 05
SERIES 2013**

**A RESOLUTION APPROVING A PRESERVATION AND RESTORATION GRANT
FOR THE THOMAS HOUSE AND GARAGE, A LOCAL HISTORIC LANDMARK,
LOCATED AT 700 LINCOLN AVENUE.**

WHEREAS, there has been submitted to the Historic Preservation Commission a Preservation and Restoration Grant application for the Thomas House, located at 700 Lincoln Avenue, on property legally described as Lots 12, 13, and 14, Block 8, Pleasant Hill Addition, City of Louisville, State of Colorado; and

WHEREAS, the City Staff and the Louisville Historic Preservation Commission have reviewed the application and found it to be in compliance with Section 3.20.605.D and Section 15.36.120 of the Louisville Municipal Code; and

WHEREAS, the Louisville Historic Preservation Commission has held a properly noticed public hearing on the proposed Preservation and Restoration Grant application and has recommended the request be forwarded to the City of Louisville City Council with a recommendation of approval; and

WHEREAS, the preservation work being requested for the Thomas house is roof and gutter rehabilitation and replacement work; and

WHEREAS, the Historic Preservation Commission finds these proposed improvements will assist in the preservation of the Thomas House, a local historic landmark.

NOW, THEREFORE, BE IT RESOLVED BY THE HISTORIC PRESERVATION COMMISSION OF THE CITY OF LOUISVILLE, COLORADO:

1. The proposed Preservation and Restoration Grant application for the Thomas House, in the amount of **\$20,000** is hereby approved.

PASSED AND ADOPTED this _____ day of _____, 2012.

Peter Stewart, Chairperson



**RESOLUTION NO. 57
SERIES 2011**

**A RESOLUTION DESIGNATING THE THOMAS HOUSE
LOCATED AT 700 LINCOLN AVENUE AN HISTORIC LANDMARK**

WHEREAS, there has been submitted to the City Council an historic landmark application for the Thomas House, located at 700 Lincoln Avenue, on property legally described as Lots 12, 13 and 14, Block 8, Pleasant Hill Addition, City of Louisville, State of Colorado; and

WHEREAS, the City Staff and the Louisville Historic Preservation Commission have reviewed the application and found it to be in compliance with Chapter 15.36 of the Louisville Municipal Code, including Section 15.36.050 (A), establishing criteria for landmark designation; and

WHEREAS, the Louisville Historic Preservation Commission has held a properly noticed public hearing on the proposed landmark application and has forwarded to the City Council a recommendation of approval; and

WHEREAS, the City Council has duly considered the proposed landmark application and the Commission's recommendation and report, and has held a properly noticed public hearing on the application; and

WHEREAS, the building was constructed in 1906, and has not been significantly altered since that time; and

WHEREAS, the building has social significance because of its association with the Thomas family, whose members made significant contributions to the development of the City throughout the twentieth century; and

WHEREAS, the City Council finds that these and other characteristics specific to the individual structure are of both architectural and social significance as described in Section 15.36.050 (A) of the Louisville Municipal Code and justify the approval of the historic landmark application.

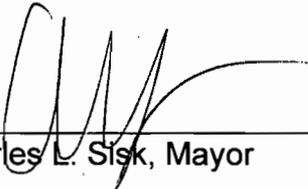
NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF LOUISVILLE, COLORADO:

1. The proposed historic landmark application for the Thomas House is hereby approved and the individual structure is hereby designated an historic landmark to be preserved as such.

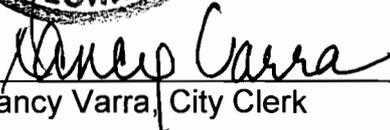
2. An incentive of \$1,000 shall be awarded to the property owner pursuant to Chapter 15.36 of the Louisville Municipal Code, with the attendant protections for landmarks pursuant to that chapter.
3. The City Clerk shall provide written notification of such designation to the property owners and cause a copy of this resolution to be recorded with the Boulder County Clerk and Recorder.

RESOLVED AND ADOPTED this 6th day of September, 2011.





Charles L. Sisk, Mayor



Nancy Varra, City Clerk

MEMO

Date: September 12, 2012

To: Tommi Hughes

From: Nan Anderson, AIA, LEED AP BD+C

Re: Building Assessment for 700 Lincoln

AH Project Number: 2012270

Comments:

Hello Tommi,

Thank you very much for the opportunity to assess your historic home and to help you move forward in the process of improving it.

Attached you will find our "Existing Condition Assessment," which breaks down the assessment of your house by building component and provides a description of the issues and our recommendations to address those concerns. In addition, we've provided a rough estimate of how much it might cost to do these recommendations. This will, of course, be affected by the contractor selected and the industry fluctuations (availability of labor, material costs, etc.) but it should provide you with a ballpark figure for planning purposes. We recommend that final budgeting and grant applications be done after consulting with a reputable contractor and a structural engineer (when applicable) to get the most accurate pricing.

We've cited where you'll need to test for lead content in your paint, but if you were to do three or four tests including a sample from each of the areas of old paint around your house, the results would inform all your paint-related work. You wouldn't need a test for every individual component as it appears in the assessment. Also, our estimates assume there is no lead content in your paint. If you do find lead, you can expect any removal activities and costs to be affected by the hazards inherent in lead.

We've done a bit of legwork with the city to find out what the next steps for you might be. Here is what we've uncovered, in addition to the attached Guide provided by the City of Louisville:

- Upon a successful application, the City will provide a \$1,000 "signing bonus" that can be used for anything, a \$5,000 "incentive bonus" that must be used for rehabilitation and restoration including interior projects, and a final grant of \$15,000 which is to be used for exterior improvements only.
- Grant funding must be matched by the applicant dollar for dollar.
- Grant limit for residents is \$21,900.
- All rehabilitation and restoration work paid for by the grant funding must be applied to the historic portion of the building (that which has been deemed as part of the landmark and 50 years or older).
- Clarify with the city if grant funding will be used for engineering costs. The signing bonus may certainly be used for that purpose. It may be that your matching funds may go towards that as well.
- The next steps in the process are as follows:
 1. Schedule a pre-application meeting with the Planning Division.
 2. Completely fill out Grant Application, explaining the scope of work.
 3. Provide bids from 3 qualified building contractors (the city can provide some names of contractors). Bids must provide a cost estimate which includes labor and materials.

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4. Provide photos of the existing conditions of the structure.
5. Provide drawings or photos of the restoration being requested.

Another helpful document we've attached is the Louisville Re-roofing Guide. As some of your improvements include re-roofing and we found this during our investigations, we thought we might pass this on for your use.

Thanks again and please feel free to let us know if you have any further questions.

Nan Anderson, AIA, LEED AP BD+C, Principal
Anne Cutrell, RA, LEED AP BD+C, Architect

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Item	Building Component	Reviewer	Components (Description)	Observations (Unusual)	Condition				Expected Life Span (Yrs)			Category (Issues)			Recommendations*	Approximate Cost*		
					A	B	C	D	Now	5-10	20-25	Code	Repair/Maint.	Other				
A SUBSTRUCTURE																		
A1	Foundations/Basement	AH																
			The foundation is a foundation wall (neither footing nor depth able to be confirmed) around the perimeter of the original house; approximately half of the original house has been under-excavated to create a 6' high basement for utilities (hot water-heater, water entry, furnace); access to the basement is via a board-formed stairway, built through/below an addition on the east side of the house; although natural soil forms the basement walls below the original foundation, a variety of retaining materials have been put in place after the excavation - rusty steel plate held in place with steel posts from floor joists above to basement floor on the north, board-formed concrete walls adjacent to the stairs on the east, double wythe brick wall up to 4' high on the north/east/south, and a small amount of corrugated metal on the west; the quarter of the basement wall that remains bared dirt is partially stepped. Under the remainder of the house is an approx. 16" crawlspace. The floor is a mixture of brick pavers, concrete, and packed dirt.	The foundation appears to be in good to fair condition, with one old crack observed from the exterior. Excavated soil appears to be mostly stable with localized areas of sloughing, mostly at the base of excavated surfaces. Basement was dry at time of review.													Monitor the excavated soil, particularly during wet seasons to assure that sloughing does not worsen. Consider adding code compliant crawlspace venting.	See Recommendations for full description - \$300 (crawlspace venting)
	Floor Construction	AH	Joists are 2x8, 24" o.c. supported on 3 beams - (southern-most and northern-most) 3 sistered 2x4s nailed, (mid) 3 sistered 2x6 nailed. Beams bear on flagstone shims in crawlspace and a combination of wood and steel posts in basement area. Beams bear on concrete foundation wall at eastern end. Southern-most beam additionally bears on 6x6 post on dirt and 1/2 of a 5" diameter wood column on concrete base. Mid beam bears on steel jack column w/ wood shim at top, 6x6 wood column on brick base w/wood shim at top, 8x8 wood column on concrete base. Northern-most beam bears on wood log (approx. 6" dia.) on flagstone base w/ wood shim, and two steel jack columns w/ 3x6 shim at top.	Floor joists appear to be in good condition. Beams appear to be in fair condition, but surface and condition of fasteners on sistered beams was difficult to observe through radiant floor tubing attached to side. Column conditions vary widely by material. Wood log column is split in the middle and bears on the corner of a hard packed soil shoulder; it is in fair to poor condition. Wood columns (6x6) appear to be in fair to good condition, but bases are generally buried in loose dust and dirt. Wood column (8x8) is in good condition and concrete base is raised from floor surface. Steel jack columns are in good condition and possess small steel bases.													Install 2'x2'x8" reinforced concrete footings at base of jack posts and timber posts that lack a concrete base (See Figure A), flush with concrete floor; isolate wood posts from direct contact with concrete with steel shims and/or steel connectors. 6 footings at \$500/footing; replace (2) posts (1/2 - 5" dia round and log) at \$200 ea with 6x6 treated lumber posts. Log post should be replaced with full height post going from bottom of joists to basement floor. (See Figure B) Provide structural engineering for above, \$2,000.	See Recommendations for full description - \$3,000 (concrete footings); \$400 (replace posts); \$2,000 (structural engineering)
B SHELL																		
B1	Roof Construction	AH																
			Gable roof with gable dormers at the second floor and hipped porch additions at the front and rear. Rafters are 2x4, 16" o.c. with 1x8 sheathing, spaced for cedar shingles. Joists are 2x6, 16" o.c. The addition on the east side is the same construction, but newer.	Some sheathing shows signs of water infiltration at some point in the building's past, but it appears to be old (roofing repaired) and wood appears sound. Full extent of roof construction was not observable from the access points available, but in general, roof structure appears to be in good condition.													No work is needed on the roof structure at this time. Continue to be alert for roofing maintenance issues and address them promptly.	

Item	Building Component	Reviewer	Components (Description)	Observations (Unusual)	Condition				Expected Life Span (Yrs)			Category (Issues)			Recommendations*	Approximate Cost*
					A	B	C	D	Now	5-10	20-25	Code	Repair/Maint.	Other		
B4	Exterior Windows	AH	Components (Description)	Observations (Unusual)	Condition				Expected Life Span (Yrs)			Category (Issues)			Recommendations*	Approximate Cost*
	Basement		The basement windows are unpainted, wood single lite awning windows that open to the inside. The window frame and sill are also unpainted.	The basement windows are in fair condition. Water stains are visible on the wood.			X						X		Prior to removing paint from windows, have existing paint tested for lead content. (1 lead test @ \$220/test) Epoxy stabilize damaged wood; replace hardware. Sand, scrape, repair, prime, and paint the windows. (Full rehabilitation: 2 windows @ \$400/window) When repainting, remove previous paint layers through sanding and scraping, particularly in areas where peeling has been observed. (See Figure G)	See Recommendations for full description - \$220 (test for lead paint); \$800 (rehabilitate windows)
	1st Floor		Original windows: Wood double hung windows, painted on the outside, stained on the inside measuring approximately 28" x 68". Windows have operable top and bottom sash that are held open by wood pin inserted into holes in the frame. Aluminum storm windows with operable lower sash and screen have been attached to the exterior side of the windows. Original windows: Small wood double hung window on the north elevation with an operable aluminum screen. 1940s windows: Wood double hung windows, painted on the exterior and stained on the interior that measure approximately 28" x 40". There are three lites in the upper sash and one in the lower sash. Windows are operable with intact sash cords and weights. One of the original windows was removed, the opening reduced and a new window installed in the 1940s. Mudroom windows: Wood double hung windows, painted on the exterior and interior that measure approximately 20" x 47". Windows have operable top and bottom sash that are held open by wood pin inserted into holes in the frame. Aluminum storm windows with operable lower sash and screen have been attached to the exterior side of the windows.	The windows are in good to fair condition. The exterior paint is peeling in places. The bottom sash are all operable, though some are harder to open, and many of the upper sash are painted shut. Many of the pins used to hold the sash in place are missing. There are a few cracked panes in the mudroom windows. The screen in one of the storm windows is torn.		X	X						X		Prior to removing paint from windows, have existing paint tested for lead content. (1 lead test @ \$220/test) Sand, scrape, repair, prime, and paint the windows. Operability should be improved on all lower sash and replacement pins should be installed where missing. (Full rehabilitation: 22 windows @ \$400/window) When repainting, remove previous paint layers through sanding and scraping, particularly in areas where peeling has been observed. Cracked panes of glass should be replaced. Replace torn screen in storm window. (See Figure H)	See Recommendations for full description - \$220 (test for lead paint); \$8,800 (rehabilitate windows)
	2nd floor		Original windows: Wood double hung windows, painted on the outside, stained on the inside. Windows have operable top and bottom sash that are held open by wood pins inserted into holes in the frame. Aluminum storm windows with operable lower sash and screen have been attached to the exterior side of the windows. One inward opening, wood casement window located on the north elevation with a single lite.	The windows are in good to fair condition. The exterior paint is peeling in places. The bottom sash are all operable, though some are harder to open, and many of the upper sash are painted shut. Many of the pins used to hold the sash in place are missing.		X	X						X		Prior to removing paint from windows, have existing paint tested for lead content. (1 lead test @ \$220/test) Sand, scrape, repair, prime, and paint the windows. Operability should be improved on all lower sash and replacement pins should be installed where missing. (Full rehabilitation: 7 windows @ \$400/window) When repainting, remove previous paint layers through sanding and scraping, particularly in areas where peeling has been observed.	See Recommendations for full description - \$220 (test for lead paint); \$2,800 (rehabilitate windows)

Item	Building Component	Reviewer	Components (Description)	Observations (Unusual)	Condition				Expected Life Span (Yrs)			Category (Issues)			Recommendations*	Approximate Cost*		
					A	B	C	D	Now	5-10	20-25	Code	Repair/Maint.	Other				
	Trim		Wood trim at the top and sides of the windows is approximately 1" x 3 3/4" with a small angled trim cap over the top trim. The window sills are 1 3/4" x 1 3/4" painted wood sills. The two second story windows do not have window sills.	The window trim is in good to fair condition. Paint on the wood trim is peeling in places and there is minor deterioration on some of the sills.		X	X				X			X			Prior to removing paint from building, have existing paint tested for lead content. Sand, scrape, repair, prime, and paint the trim. (See Exterior Wall Estimate.) When repainting, remove previous paint layers through sanding and scraping, particularly in areas where peeling has been observed.	

B5	Exterior Doors	AH	Components (Description)	Observations (Unusual)	Condition				Expected Life Span (Yrs)			Category (Issues)			Recommendations*	Approximate Cost*		
					A	B	C	D	Now	5-10	20-25	Code	Repair/Maint.	Other				
	1st Floor		Front (west) entry doors - wood four panel doors with glazing in upper third. Door is painted on the exterior and stained on the interior. Door in the north wall has all the original hardware. Both doors have a glazed screen door with eight lites that retain historic hardware. Basement (east) entry door - wood five panel door that is painted on the exterior and stained on the interior. The original door knob and hinges are intact. The basement door has a wood screen door with historic hardware. Mudroom (south) entry door - wood five panel door with glazing in upper third. The door is painted on the interior and exterior and retains the original hinges, door knob and escutcheon plate, though the deadbolt is new. There is a modern aluminum screen door and frame on the exterior side of this door.	The doors are in good condition with the exception of the basement screen door which is in poor condition. The wood elements of the screen door are deteriorating and two of the hinges are no longer attached to the door. The paint on the basement door is wrinkling on a few of the panels.		X		X	X	X				X			The basement screen door should be replaced with a screen door that is compatible with the historic character of the building. (\$150) (See Figure I) Prior to removing paint from doors, have existing paint tested for lead content. (1 lead test @ \$220/test) The basement door should be sanded, scraped, primed, and painted. (\$250) When repainting, remove previous paint layers through sanding and scraping, particularly in areas where peeling has been observed. (\$100)	See Recommendations for full description - \$150 (replace screen door); \$220 (test for lead paint); \$100 (remove previous paint); \$250 (repaint)
	Trim		Painted wood 1 x trim at the top and sides of the doors with a small angled trim cap over the top trim.	The door trim is in good to fair condition. The paint is peeling in places and there is minor deterioration at the bottom of a few trim elements on the sides of the doors.		X	X			X			X			Prior to removing paint, have existing paint tested for lead content. Sand, scrape, repair, prime, and paint the trim. When repainting, remove previous paint layers, particularly in areas where peeling has been observed. (See Exterior Wall Estimate)	See Above	

B6	Roof Openings	AH	Components (Description)	Observations (Unusual)	Condition				Expected Life Span (Yrs)			Category (Issues)			Recommendations*	Approximate Cost*	
					A	B	C	D	Now	5-10	20-25	Code	Repair/Maint.	Other			
	(Skylights, Chimneys & Access Hatches)																
	Chimney		Red brick chimney approximately 20"x20" with metal cap vent, metal flashing; stepped in 1/3 from bottom of connection with roof.	Chimney appears to be in fair condition. The mortar joints have been repointed at some point with non-matching mortar, possibly a cementitious mortar commonly available at home improvement stores.			X			X			X			Caulking at flashing transitions should be replaced in the next 6 months (+/- 7 l.f. at \$10/l.f.). Monitor bricks for potential spalling due to cementitious mortar. When that starts, repointing must be done to avoid further damage to bricks. Even if that condition does not occur, repointing will need to occur within the next 5 years. At that time, test the existing historic mortar (at chimney base) to ensure that the new mortar matches the composition of the original mortar (require mortar testing at \$150) +/- 45 s.f. at \$20/sf. (See Figure J)	See Recommendations for full description - \$70 (resealing); \$150 (mortar testing); \$900 (repointing)

Item	Building Component	Reviewer	Components (Description)	Observations (Unusual)	Condition				Expected Life Span (Yrs)			Category (Issues)			Recommendations*	Approximate Cost*			
					A	B	C	D	Now	5-10	20-25	Code	Repair/Maint.	Other					
B7	Porches	AH	Components (Description) The porch is located on the west side of the house and is surrounded by a half wall that is flared at the bottom and has a wood wall cap. The wall is clad with painted wood shingles with 4" exposure. Two wood columns and one engaged column run from the half wall up to the wood beam supporting the roof. Wood trim covers the beam on either side of the roof. The ceiling is painted wood tongue and groove and the flooring is painted plywood.	Observations (Unusual) The majority of the porch elements are in good to fair condition. The wood shingle cladding is in fair to poor condition. The bottom two courses of shingles are significantly deteriorated and the paint is peeling across the wall. The wood wall cap and columns are in fair condition with peeling paint in places. The plywood flooring is in fair to poor condition and is not an appropriate exterior finish material. The condition of the flooring indicates there may be deteriorated floor structure below.										X			Recommendations* Prior to removing paint from building, have existing paint tested for lead content. (1 lead test @ \$220/test) Sand, scrape, repair, prime, and paint the half wall, wood cap and columns. (Included in repainting described in Exterior Wall section) Replace bottom two rows of shingles. (Repair Shingles: 12 sf @ \$25/sf) When repainting, remove previous paint layers through sanding and scraping, particularly in areas where peeling has been observed. The plywood flooring should be replaced with an appropriate exterior material (wood or composite wood decking) that is in keeping with the historic character of the building. (\$100 sf @ \$10/sf) (See Figure K) At the time of replacement, hire a structural engineer to inspect floor structure for soundness. (\$500)	Approximate Cost* See Recommendations for full description - \$200 (lead test); \$xx (repair); \$300 (replace shingles); \$1,000 (replace porch deck); \$500 (structural engineering)	
B8	Exterior Trim/Ornamentation	AH	Components (Description) All corner trim is 1 x 3 painted wood trim with built up wood "capitals" at all corners except the mudroom and on the dormers. There is a wood trim board on the north and south elevations at about the third point of the building. There is 1 x wood trim that runs under all of the eaves of the house.	Observations (Unusual) The trim is in good to fair condition. There are a few areas where the wood is stained or starting to deteriorate. The paint is peeling in many areas.											X		Recommendations* Sand, scrape, repair, prime, and paint the trim. When repainting, remove previous paint layers through sanding and scraping, particularly in areas where peeling has been observed. (Included in Exterior Walls Estimate)	Approximate Cost* See Above	
C	Site																		
C1	Site Drainage	AH	Components (Description) The north, south and west sides of the site have landscaping adjacent to the building. On the east side of the building, concrete sidewalks run adjacent to the building. The ground slopes toward the building on the west side of the site and on the south side of the site the ground slopes toward the building in a few places. The ground slopes away from the building on the north side of the site.	Observations (Unusual)												X		Recommendations* Create drainage swale away from building by removing existing soil such that the slope drains away from the building. (3 cu. ft. @ \$150/cu.ft.) Soil fill may be used to raise the soil at the building edge, but care must be taken with soil type and compaction. Keep soil and mulch away from wood siding to the greatest extent feasible. Soil may be covered mulch or a more drainable material, such as pea gravel. (See Figure L)	Approximate Cost* See Recommendations for full description - \$450 (create swales)

*Notes:
- Estimated costs assume no lead or asbestos present.
- Lead testing is noted for every area that includes a potential source of lead paint. A series of 3 tests, one for each of the sources of old paint (windows, doors, siding), would likely provide all the testing needed for the entire project.



Figure A - Example of column needing concrete base.

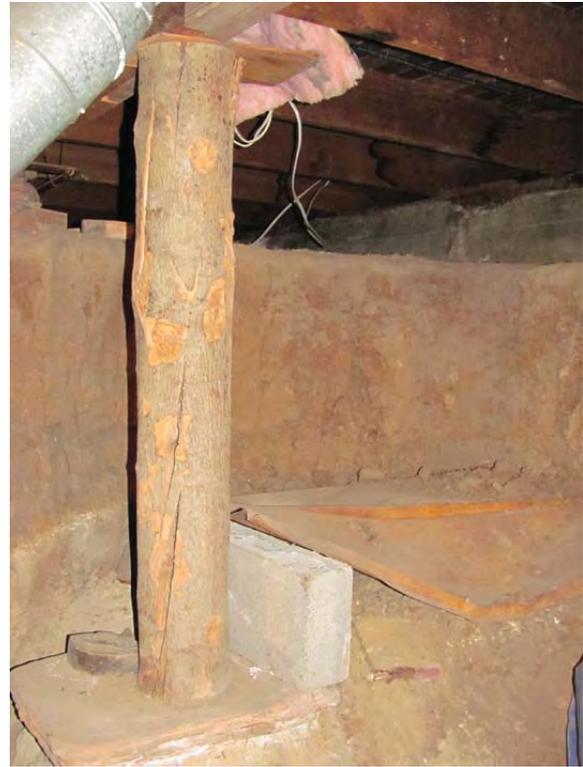


Figure B - Example of column needing replacement.



Figure C - Example of location needing shingle replacement.



Figure D - Example of location needing gutter replacement.



Figure E - Example of location needing downspout extender to direct water away from building.



Figure F - Example of area needing sanding and scraping prior to repainting.



Figure G - Example of basement window needing rehabilitation.



Figure H - Example of window trim needing sanding and scraping prior to repainting.



Figure I - Example of screen door needing replacement.



Figure J - Example of cementitious mortar needing replacement (top) and historic mortar (bottom).



Figure K - Example of porch decking needing replacement.



Figure L - Example of landscaping needing swales to redirect stormwater.

Item	Building Component	Reviewer	Components (Description)	Observations (Unusual)	Condition				Expected Life Span (Yrs)			Category (Issues)			Recommendations *	Approximate Cost*	
					A	B	C	D	Now	5-10	20-25	Code	Repair/Maint.	Other			
A SUBSTRUCTURE																	
A1	Foundations	AH															
			Concrete slab on grade with foundation wall (neither footing nor depth able to be confirmed) or thickened slab at edge. A joint between old concrete and a newer slab can be observed next to some interior walls, indicating that the interior slab may have been replaced at some point, retaining perimeter concrete.	Concrete at perimeter foundation wall has a large (and apparently old crack) on the north side. Concrete of interior slab has two large cracks that extend from the penetration of a wood support in the center of the garage floor to the perimeter of the slab.		X					X			X		No work is recommended on the foundations and slab at this time. Cracking is natural in an uninterrupted slab, particularly one with a penetration in the middle. If slab is ever replaced, we recommend including control joints similar to ones seen on sidewalks to be added to wet slab between penetrations and perimeter. (See Figure A)	
B SHELL																	
B1	Roof Construction	AH															
			Gabled roof, single ridge; rafters 2x4, 24" o.c.; wood 1x sheathing, spaced for cedar shingles; simple triangular trusses comprised of 2x4 with 1x bracing at 48" o.c.	There are signs of water infiltration on south side sheathing and rafters.			X				X			X		When roofing is replaced, roof sheathing will need to be added. At that time, hire a structural engineer to inspect roof structure for soundness and to check that current structure is sufficient for new roof load. (\$500) (See Figure B)	See Recommendations for full description - \$500 (structural engineering)
B2	Roofing	AH															
			Original wood (cedar?) shingles, approx. 4" exposure; metal cap flashing at ridge.	The shingles are in poor condition. Nails are popping out, the wood is splitting, holes ranging from 1/8" to 1/2" can be seen clearly from the interior side.				X		X			X	X		Remove old shingles. Install new roof sheathing and new roofing. (530 sf @ \$5.50/sf) (See Figure C) Check that current structure is sufficient for additional load. (see above)	See Recommendations for full description - \$3000 (replace roof and install sheathing)
B3	Exterior Walls	AH															
	1st Floor		Finish on the exterior walls is wood ship-lap siding with approximately 5" exposure that is painted white.	The siding is in good to fair condition. There are areas of significantly peeling paint and there is minor cracking on the siding board at grade level. Foliage is growing up against the east elevation.		X	X				X			X		Prior to removing paint from building, have existing paint tested for lead content. (1 lead tests @ \$220/test) Repaint the siding. (730 sf @ \$1.50/sf) When repainting, remove previous paint layers through sanding and scraping, particularly in areas where peeling has been observed. (730 sf @ \$2.50/sf) (See Figure D)	See Recommendations for full description - \$220 (test for lead paint); \$1,800 (remove previous paint); \$1100 (repaint)

Item	Building Component	Reviewer	Components (Description)	Observations (Unusual)	Condition				Expected Life Span (Yrs)			Category (Issues)			Recommendations *	Approximate Cost*
					A	B	C	D	Now	5-10	20-25	Code	Repair/Maint.	Other		
B4	Exterior Windows	AH	Components (Description)	Observations (Unusual)	Condition				Expected Life Span (Yrs)			Category (Issues)			Recommendations*	Approximate Cost*
	1st Floor		The windows are painted wood horizontal sliding windows that are approximately 55" wide by 24" tall. Each sash has four true divided lites. The windows have painted wood trim on the top and sides and a wood sill.	The south window is in fair to poor condition. The window putty around the glazing is significantly deteriorated. The paint is significantly peeling on the window, trim and sill. The wood sill is deteriorating. The east window is in poor condition. The glazing has been removed and plywood nailed over the window on the exterior side so the trim condition is unknown.										X	Prior to removing paint from windows, have existing paint tested for lead content. (1 lead test @ \$220/test) Epoxy stabilize damaged wood; replace hardware, replace existing glazing putty and missing/damaged panes. Sand, scrape, prime, and paint the windows. (Full rehabilitation: 2 windows @ \$400/window) (See Figure E) When repainting, remove previous paint layers through sanding and scraping, particularly in areas where peeling has been observed.	See Recommendations for full description - \$220 (test for lead paint); \$800 (rehabilitate windows)
B5	Exterior Doors	AH	Components (Description)	Observations (Unusual)	Condition				Expected Life Span (Yrs)			Category (Issues)			Recommendations*	Approximate Cost*
			There are two sliding barn doors constructed of vertical wood boards approximately 3" wide. The door on the south elevation is approximately 93" wide by 84" tall and slides open to the west on an exterior mounted track at the top of the door. The door has a metal pull handle attached to the west side of the door and a metal door "stop" attached to the siding on the east side of the door opening. The door on the west elevation is approximately 109" wide by 90" tall and slides open to the south on an exterior mounted track at the top of the door. The door has a metal pull handle on the north side of the door. There is a wood four panel overhead garage door on the west elevation.	The sliding barn doors are in fair condition. The boards are deteriorating at the bottom of the door and the paint is peeling in places. The overhead garage door is in good condition.			X	X				X		X	The deteriorating wood boards on the sliding barn doors should be repaired and epoxy stabilized (5 sf @ \$15/sf) and the doors should be repainted. (See Figure F) When repainting, thoroughly remove previous paint layers, particularly in areas where peeling has been observed. No recommendations for the overhead garage door at this time. (See Exterior Wall Estimate for repainting and paint removal.)	See Recommendations for full description - \$75 (repair and epoxy stabilization)
B8	Exterior Trim/Ornamentation	AH	Components (Description)	Observations (Unusual)	Condition				Expected Life Span (Yrs)			Category (Issues)			Recommendations*	Approximate Cost*
			There is 1 x trim at all four corners of the building. The building has painted wood fascia. The building does not have a soffit, instead the roof sheathing is exposed and painted at the eaves on the north and south sides of the building.	The trim is in good to fair condition. The trim at the southwest corner of the building is pulling away from the siding and has peeling paint. The fascia is in fair condition with water damage in some areas and peeling paint.			X	X				X		X	Prior to removing paint from building, have existing paint tested for lead content. Repaint the siding. When repainting, remove previous paint layers through sanding and scraping, particularly in areas where peeling has been observed. (See Exterior Wall Estimate for repainting and paint removal.)	See Above



Figure A - Example of concrete needing control joints on future slabs.

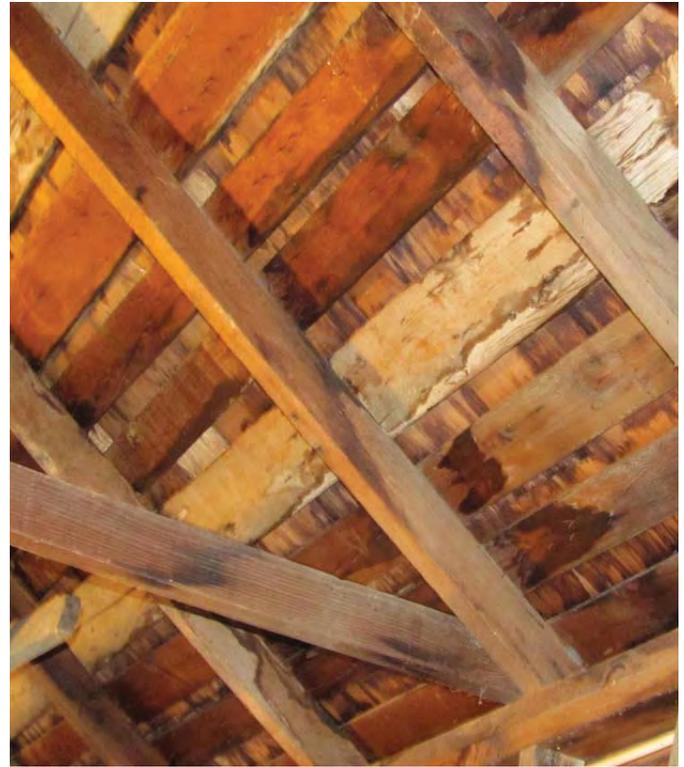


Figure B - Example of roof structure needing further evaluation when roof sheathing added.



Figure C - Example of roofing needing replacement.

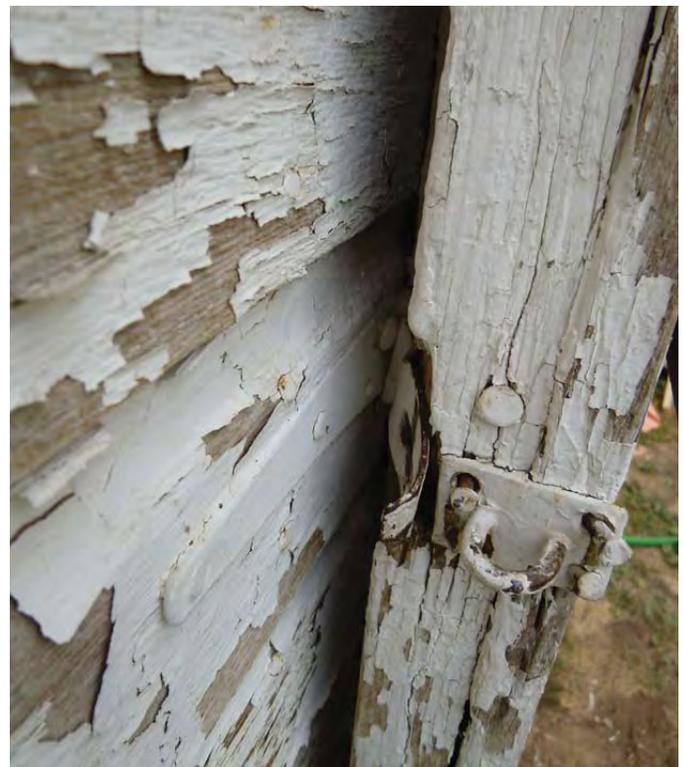


Figure D - Example of area needing sanding and scraping prior to repainting.



Figure E - Example of window needing rehabilitation.



Figure F - Example of door needing epoxy stabilization and sanding and scraping prior to repainting.



Figure G - Example of drive needing improved drainage at future paving.

HOUSE

Shingle Options	Unit Cost	Sq's/LF/Units	TTL Cost
Duration Storm, Class 4 IR	100.92	21	2,119.32

Accessories Options	Unit Cost	Sq's/LF/Units	TTL Cost
Fastners			
1-1/4" plastic Caps	\$30.30	1	\$30.30
Underlayments			
Tarco Ice and water	\$54.40	6	\$326.40
OC Starter strip	34	3	102
OC Duration Storm Hip & Ridge	66.6	4	266.4
Decking			
OSB 7/16" per sheet	\$11.00	68	\$748.00
Nails	55	1	55
	-	0	-

Detail Metal			
Dripedge 1x2	\$4.90	0	\$ -
Dripedge 2x2	5.5	14	77
Dripedge 2x3	7	0	-
Dripedge 2x4	8.3	14	116.2
Spray paint 11 oz can	7.75	3	23.25
Style D drip edge	5.5	0	-
8" x 8" Pre Bent Step Flashing	42.9	2	85.8
Owens Corning Ventsure Slantback Painted	13.75	3	41.25
Owens Corning Ventsure Ridge Vent	50	0	-
1/2" - 1" Pipe Jack	7.75	0	-
3-1 Pipe Jack	5.3	2	10.6
4" Pipe Jack	9.75	0	-
Zip seals for electrical masts	10.6	2	21.2
Tampro Shingle Stick (tar)	3	5	15
Geocell clear silicone	5.25	2	10.5
TOTAL MATERIALS COST			\$4,048.22

Tear Off Options	Labor	Sq's/LF/Units	Cost
Asphalt tear off # of Layers	1	22	20
Medium Shake or Cedar Shingles	1	30	20
Medium Shake or Cedar Shingles	1	30	20
Steep TO/install - 8/12		11	13
Redeck - per sheet (TO/Install)		18	20
Install Options	Labor	Sq's/LF/Units	Cost
30/40 yr install		26	22
6 nail application		7	22
Ice and Water per square		20	6
TOTAL LABOR COST			\$2,989

TOTAL OF TAX, PROFIT & OVERHEAD FOR HOUSE	\$7,976
GRAND TOTAL FOR HOUSE OC DURATION STORM	\$15,013

GARAGE

Shingle Options FOR GARAGE	Unit Cost	Sq's/LF/Units	TTL Cost
Duration Storm, Class 4 IR	100.92	8	\$807
OSB 7/16" per sheet	\$11.00	25	\$275.00
Nails	55	1	\$55
OC Starter strip	34	1	\$34
OC 30 LB. Felt underlayment	41.25	2	\$82
1-1/4" plastic Caps	\$30.30	1	\$30.30
TOTAL MATERIAL COST FOR GARAGE			\$1,283.30

Tear Off Options	Labor	Sq's/LF/Units	Cost	
Medium Shake or Cedar Shingles	1	30	7	210
Redeck - per sheet (TO/Install)		18	8	144
Install Options	Labor	Sq's/LF/Units	Cost	
30/40 yr install		26	8	572
6 nail application		7	8	154
TOTAL LABOR COST FOR GARAGE				\$1,080
TOTAL OF TAX, PROFIT & OVERHEAD FOR GARAGE				\$1,821
GRAND TOTAL FOR GARAGE				\$4,184

Gutter total 6 316 **\$1,896**

Insulation total **\$645**

Excel Roofing, Inc.
4510 S. Federal Blvd. Englewood, CO 80110
(303) 761-6400. Fax (303)761-6442

Proposal/Contract

Date: 4/4/13

Proposal submitted to: Tommi McHugh

Phone: 303-229-0897

E-mail: tommibeth@gmail.com

Job Name & Location: 700 Lincoln Ave, Louisville, CO, 80027

We hereby propose to furnish materials and labor necessary for the completion of:

- I. Installation of a Class B, fire retardant wood shingle roof system by Sunset Forest Products with a Limited Lifetime warranty for materials. Color: Western Red Cedar.
 - A. Provide Workman's Comp and Liability Insurance.
 - B. Obtain building permit from city or county. (Cost not included, fee TBD and added to final invoice)
 - C. Provide a Carbon Monoxide Alarm prior to starting project.
 - D. Remove all layers of existing roofing: Up to (3 of 3) Layers.
 - E. Install painted metal drip edge along: eaves, rakes and gables
 - F. Install new #30 ASTM rated fiberglass reinforced felt by Owens Corning.
 - G. Install 90 lb. rolled asphalt along all valleys
 - H. Install wall, chimney and sky light flashings as needed.
 - I. Remove, Replace and Paint (4 of 4) plumbing vent flashings with steel and neoprene flashings.
 - J. Remove and Replace ____ (3 of 3) ____ passive attic vent(s)
 - K. Install ice and water shield along eaves
 - L. Install wood shingles to manufacture's recommendations with 1 1/4 inch galvanized nails
 - M. Install matching ridge shingles.
 - N. Final inspection with Project Manager at completion of project, and we call for final permit inspection.
- II. Workmanship is guaranteed for Five (5) years.
- III. Excel Roofing will clean up, use nail magnet and haul all debris at completion of project.

Costs & Options:

- | | |
|--|--------------------|
| IV. Cost for House Roof: Cash or Check: | \$25,455.00 |
| V. Replace gutter and downspout on house and garage Color: | \$1,896.00 |
| VI. Cost for Garage: | \$8,659.00 |
| VII. Install 12" of AttiCat insulation by Owens Corning over 216 sq. ft. | \$644.74 |
- Credit cards are accepted (Visa & MasterCard) with a 3% convenience fee: \$37,754.38**

We propose to furnish material and labor, in accordance with the above specifications for the sum of \$36,654.74 including tax with payment to be made to Excel Roofing, Inc. Total Cost does not include City/County Permit fee

Terms: 100 % upon completion.

All work to be completed in a substantial workmanlike manner according to specifications submitted, per standard industry practice. Any deviation from the above specifications will become additional charges. All Agreements are contingent up delays beyond our control. Owner to carry fire, tornado, extended perils and other necessary insurance. Excel Roofing will not be held liable for any structural movement, settling, cracks in dry-wall, driveway or damage to siding due to the roofing or loading processes. Finance charge of 1 1/2 % per month will be added to any unpaid balance. In the event of collection, and/or Legal action is taken by Excel Roofing Inc., Excel is entitled to reasonable attorney fees and costs. This proposal may be withdrawn by Excel Roofing, Inc if not accepted within _____25_____ Days.

Addison Parker, Project Manager, Excel Roofing & Exteriors, Inc.

Date: 4/4/13

Cell Phone # 303-895-8689

Acceptance of Contract

The above price, specifications and conditions are satisfactory and are hereby accepted. Excel Roofing, Inc. is hereby authorized to do the work as specified and payment will be made to Excel Roofing, Inc. as outlined above.

Accepted by _____ **Title** _____

Signature _____ **Date** _____



Boulder Roofing, Inc.
 3551 Pearl Street
 Boulder, CO 80301
 303.443.4646 / fax 303.443.4692
 email: dan@boulderroof.com

PROPOSAL

Submitted to:

Tommi McHugh
 700 Lincoln Ave
 Louisville, CO 80027

Date: 10/18/2012

This proposal may be withdrawn
 by Boulder Roofing, Inc. if not
 accepted within 30 days.

Job Name & Location: McHugh Residence, 700 Lincoln Ave, Louisville, CO 80027

Complete Re-Roof

- Tear off existing two layers of cedar and one layer of asphalt shingles and haul away all debris.
- Install 7/16 OSB over entire roof surface.
- Install Henry's Ice Shield two feet past warm wall at eaves.
- Install Feltex synthetic underlayment.
- Install new galvanized 2x4 edge metal at all eaves.
- Install new galvanized edge metal at rakes.
- Install new "no-caulk" flashings at all plumbing vents.
- Install new step flashing around the base of the chimney.
- Provide and install one of the following fiberglass dimensional shingles with starter and ridge.
- All shingles will be six-nailed as required for high winds.
- Conduct final inspection and clean up.

<u>Breakdown:</u> Material and Overhead cost	\$5,195.
Dump fees	\$625.
Labor and overhead	\$9,706.
Permit fees	\$350.
Profit	\$1,851.27

- | | |
|--------------------------------------|-----------|
| 1. Tamko Heritage Series 30 Lifetime | \$17,728. |
| 2. Owens Corning Duration Tru-Def | \$17,728. |

Option Install a continuous ridge vent along the peaks. \$295.

Notes: Home owner will allow access over grass on the south side. side.

- We hereby propose to provide all labor and materials as described in the above specifications for the amount stated.
- Payment to be made upon completion. Service charge: 1.5%/month plus the cost of collection & legal fees. BRR shall not be required to continue work if not paid.
- All work is covered by Boulder Roofing's standard two-year warranty (except repairs). Said warranty is the sole and exclusive remedy related to work completed.
- Boulder Roofing is fully licensed and insured. Certificates are available upon request.
- Additional insured endorsements will result in an extra charge if required.
- Any alterations from above specifications involving extra costs will be executed only upon written order.
- Work cannot be scheduled until signed copy is returned.

Boulder Roofing, Inc.

By: Dan Reivich
 Dan Reivich

ACCEPTANCE OF PROPOSAL – The above prices, specifications and conditions are hereby accepted. You are authorized to do the work as specified and payment will be made as outlined above.

Date of Acceptance _____ By _____

LOUISVILLE HISTORIC PRESERVATION COMMISSION

STAFF REPORT

April 15, 2013

ITEM: Case #2013-007-DEMO

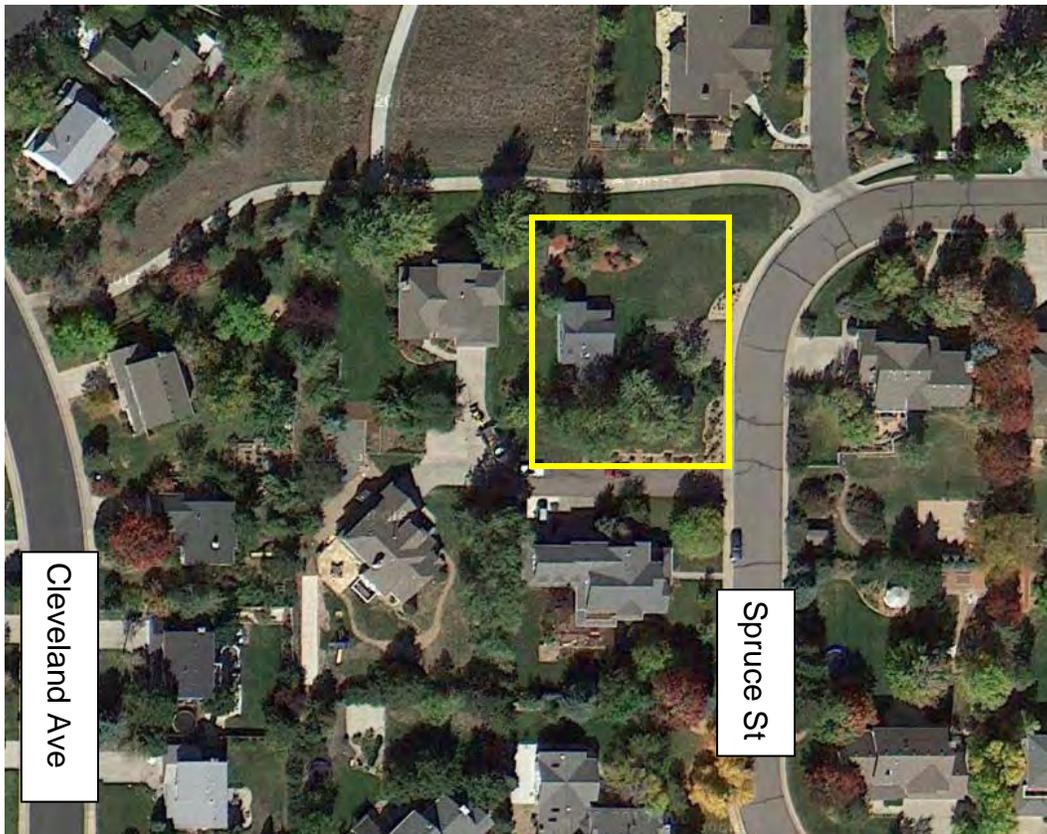
APPLICANT: Westmark Design and Construction
Thomas Ramsey, Representative
1100 Grant Avenue
Louisville, CO 80027

OWNER: Kevin Frank and Melanie Lawrence
396 Driftwood Circle
Lafayette, CO 80026

PROJECT INFORMATION:

ADDRESS: 844 Spruce Street
LEGAL DESCRIPTION: Lot 12, Block 3, Spruce Lane Subdivision
DATE OF CONSTRUCTION: circa 1920

REQUEST: A request to demolish the house and outbuilding to build a new structure.



HISTORICAL BACKGROUND:

Information is from Historian Bridget Bacon and is attached to this document.

Sidele Family: 1919-1963

Sam Sidele was a coal miner from England who built the house around 1920. He and his wife Mary Elizabeth also farmed the property.

Steinbaugh Family: 1963-1972

Jack and Phyllis Steinbaugh, of the Steinbaugh Lumber family, bought the house as a rental property.

REQUEST:

The applicants, Kevin Frank and Melanie Lawrence, are requesting to demolish the house and secondary structure to build a new house. No historic photos of the property could be located.



Current Photo



Principal Structure



Accessory Structure

A subcommittee was formed and conducted a site visit on March 13, 2013. The subcommittee recommended that this request be heard by the Commission because the house appears to have retained its historic character and there is social significance. This property was the subject of a pre-filing conference in 2012, but the ownership has since changed. The property is outside the Old Town Overlay District and therefore ineligible for local grant funding.

ARCHITECTURAL INTEGRITY:

The existing structure is a one story single-family house built around 1920. The house is cross-gabled and appears to have received multiple additions on the south side. Without historic photos it is difficult to say what elements of the house are historic and what has changed. Judging by the style and condition of the siding and windows, they may be original. The roof material does not appear to be original.

The accessory structure appears to be of similar age to the principal structure, based on its form and materials. The siding and windows may be original as well.

CONCLUSION AND RECOMMENDATION:

The house appears to have retained significant architectural elements, though without historic photos it is difficult to say for sure. The overall form has likely been retained, with additions to the rear, and the siding and windows may be original. There is also social significance, having been built by an immigrant coal miner and operated as a farm.

Staff believes the structure may be eligible for individual landmarking, though it would not be eligible for local grants, and therefore staff recommends a 60 day stay be placed on the application so design assistance may be offered and more information on the cost of improvements may be presented

SUPPORTING DOCUMENTATION AND INFORMATION:

Attached for your review are the following supporting documents:

- Demo permit application
- Social history



Department of Planning and Building Safety

749 Main Street Louisville, CO 80027 303.335.4584 www.louisvilleco.gov

RESIDENTIAL PERMIT

PERMIT NUMBER: D13-0005

Type of Residence- Single Family Duplex
 Townhome Apartment Condo

TYPE OF WORK: New Addition Scrape off Remodel Demo

JOB ADDRESS (including Unit #):
844 W. Spruce St.
LEGAL DESCRIPTION (if known):
 Lot: _____ Block: _____ Subdivision: _____
 Total Lot Area (SQ. FT) 19,192

WORK DESCRIPTION: Include square footage
 1st Floor: _____ 2nd Floor: _____ 3rd Floor: _____
 Garage: _____ Other: _____
 Basement: Finished: _____ Unfinished: _____
 Sprinkled Area: _____
 Construction Type: _____ Occupancy: _____
 Total Units: _____ # of Bedrooms: _____ # of Bathrooms: _____
 Permit to include: **Electrical** Yes No
Mechanical Yes No **Plumbing** Yes No

BUILDING INFORMATION:
 Owner Name: Ilena Kolbe
 Address: 844 W. Spruce St.
 City: Louisville Zip: 80027
 Phone: (____) _____ - _____

JOB DESCRIPTION: demo / MOVE EXISTING STRUCTURES FROM SITE
NEW OWNER
KEVIN FRANK + MELANIE LAWRENCE
396 DRIFTWOOD CIRCLE
Lafayette CO 80026

CONTRACTOR INFORMATION:
 Louisville License # CL 01763
 Business Name: WestMark Design
 Address: 1100 Grant Ave. ConSt.
 City: Louisville Zip: CO
 Phone: (303) 882-9220

NOTE: For a multiple trade permit the Sub-contractor signature form with original signatures is required prior to issuance of a permit.

JOB SUPERVISOR:
 Name: SEAN ROE
 Jobsite Phone # (303) 249-2836

Valuation includes Labor & All Materials or Contracted Price
 \$ 8,000
Permit Fee
 \$ 50.00



ARCHITECT / ENGINEER OF RECORD:
 Name: _____
 Email: _____
 Phone #: (____) _____ - _____

This application becomes null and void if permit is not issued within 180 days of application date. I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of law and ordinances governing this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any state or local law regulating construction or performance of construction. Permit and tap fees are subject to change at the beginning of each calendar year.
 Note: A separate permit is required for signs, fences, irrigation systems & swimming pools unless noted on this application. Fees are assessed at time of permit issuance and are subject to city ordinance in effect at that time.

SIGNATURE BLOCK:
 Signature: [Signature] Printed Name: THOMAS A RAMSEY Date: 2-19-2013
 Address: 1100 Grant Ave. Phone: (303) 882-9220
 Email Address: ThomasARamsey@yahoo.com Preferred Method of Contact: Phone Email EITHER

APPROVALS	SIGNATURES	DATE	COMMENTS
Building			
Zoning/HPC			
Fire Department			
Elevator Review			



844 W. Spruce Street History

Legal Description: formerly described as part of Sec 8 T1S R69W; currently described as Lot 12, Block 3, Spruce Lane

Year of Construction: circa 1920

Summary: This home was a farmhouse built on farm land that has since been developed.

Spruce Street and Spruce Lane History

Historically, Spruce Street was the route out of Louisville going west towards the Matchless Mine located south of Harper Lake. Small farms lined what would have been a dirt road. Spruce Street used to pass to the north of the house in question, and the house faced the street. Today, the street curves to the south and becomes Spruce Lane just before reaching the house.

In 1986, the farm that this house was associated with, as well as the Fiechtl farm and possibly additional farms, were platted for purposes of development. The subdivision was named Spruce Lane.

Sidle Family Ownership for Over 40 Years; Date of House Construction

In 1919, Samuel Sidle purchased this farmland from George Brimble. Brimble continued to own property nearby and was a neighbor of Sidle's. The County's estimated date of construction as being 1920 could be accurate, based on the fact that Sam Sidle had so recently purchased it.

There is also a second structure on the property, and the County also gives 1920 as the estimated date of construction for that structure.

Sam Sidle was born in 1885 in Holywell, Northumberland, England. His father was an English coal miner, and Sam himself was working as a miner by the age of 15. Records indicate that Sam Sidle arrived in Canada, then crossed to the US at the port of Vancouver in 1916. His final destination as listed on the passenger list was Louisville, where his brother was already living.

The 1920 census shows Sidle to be working as a single coal miner and boarding at the Centennial Mine. Soon, however, he married a woman from England who was seven years older than he was. Census records show that she arrived in the US in 1920. Mary Elizabeth's maiden name is not known.

The 1930 and 1940 census records show Samuel and Mary Elizabeth Sidle to be living at the location of what is now 844 W. Spruce, which they owned. It is believed that they did not have children. Both sets of census records list Sidle as being a coal miner, but the fact that he and his wife also owned a small farm suggests that they also engaged in farming. This activity may have helped tide them over in the summers when the coal mines closed.

The following photo is an image of Sam Sidle taken from a large group portrait of miners at the Monarch Mine in 1942:



Local directories show that in the 1950s, the Sidles lived in Lafayette and Sam Sidle worked at the Eagle Mine. They continued to own the farm at 844 W. Spruce during that time.

Sam Sidle died in 1961. Mary Elizabeth Sidle sold the property in 1963. She died in 1965.

An effort was made to locate a Boulder County Assessor card for this property by doing several searches, but one could not be located, so no photo of the house in 1948 or later is available.

Steinbaugh Family Ownership

In 1963, Jack and Phyllis Steinbaugh purchased the Sidle farm. According to Jack Steinbaugh, this included the farmhouse and an additional small house. (This could be the secondary structure that stands on the property.) According to Jack Steinbaugh, it consisted of five acres at the time.

Jack Steinbaugh is a member of Louisville's Steinbaugh family that had a longtime hardware and lumber business. Phyllis Schreiter Steinbaugh grew up in a Louisville farming family. They rented out this property.

Jack Steinbaugh spent some time fixing up the house at 844 W. Spruce before renting it out. At the time of the purchase, there was one hanging bulb for lighting and was heated with just a coal/wood stove. Jack Steinbaugh stated that he kept a pony and foal on the property and rented first to a man who was going to college, then to the preacher at the Pentecostal Church in Louisville.

In 1972, the Steinbaughs sold the farm and the house to Jonathan Prouty.

Later Owners

Prouty platted the Spruce Lane area in 1986 and sold this Lot 12, Block 3 to John R. Botterill Jr. and Jan M Houck in 1988. They sold this lot to Ilene Kolbe in 1994. The Boulder County Assessor lists her as the current owner.

Sources

The preceding research is based on a review of relevant and available online County property records, census records, oral history interviews, and related resources, and Louisville directories, newspaper articles, maps, files, obituary records, survey records, and historical photographs from the collection of the Louisville Historical Museum.

MEMORANDUM

To: Historic Preservation Commission Members

From: Department of Planning and Building Safety

Subject: HPF Revolving Loan Fund

Date: **April 15, 2013**

Attached are the letter and draft resolution that were presented to City Council at the February 26 study session. At the meeting Council expressed support for the creation of a loan program and requested HPC develop a firm proposal to be presented to Council for adoption.

To: Mayor Muckle and City Council
Date: February 15, 2013
Re: Revolving Loan Program

At times in the past, we have very briefly discussed the advisability of a revolving loan program with you. However, due to limited resources, we have all focused our attention on developing a grant program within the Historic Preservation Fund (HPF). Now that the grant program is on solid footing, and the Historic Preservation Tax (HPT) is nearing the halfway point of its life (unless extended), we feel that it is an appropriate time to develop a loan program.

Ballot Issue 2A, adopted by Louisville voters in 2008, specifically authorized funding from the Historic Preservation Fund (HPF) for “grants and low interest loans to preserve and rehabilitate eligible properties”. This was followed by Council Resolution No. 20 (2009), which stated in §3 that uses of the HPF would include:

“ii. Low-interest loans to fund the restoration and rehabilitation of existing resources. The loans shall be administered by the City or a designee appointed by City Council, with loan payments returning to the HPF. Loans shall be evidenced by a loan agreement, guaranteed by the borrower (with individual guarantees as the City may in its discretion require), and secured by a lien on the property. The loan may provide for default and acceleration of the loan if the completed work is not contemplated by the conditions of the loan. Further, if the work is not completed in compliance with the conditions of the loan, the loan amount shall be returned forthwith, with interest. Any costs in collecting the loan upon default shall be charged to the HPF;”

Clear authority exists to establish an HPF loan program, and perhaps was even anticipated by the voters when the Historic Preservation Tax was established.

For the long-term health of the HPF, we think it is time to strongly consider a loan program. Unless the tax is extended by the voters, or other sources of funding are found, the HPF will quickly deplete upon the sunset of the tax, particularly with major projects like the Grain Elevator. A revolving loan fund would allow the HPF to survive even without additional funding and maximize the number of property owners that can be helped, and in perhaps greater amounts. In many cases, particularly large projects, loans might be a more appropriate method of funding that grants, since it requires a greater commitment from the property owner. A combination of grants and loans may be a more effective package of assistance than only grants for some projects.

There are many examples of successful revolving loan programs for historic funding which can be consulted. The Colorado Historical Foundation (CHF) offers below-market loans for historic preservation purposes, generally between \$100,000 and \$750,000.

<http://www.cohf.org/revolvingloanfund.html> The CHF program has existed for about nine years and has issued 13 loans. CHF partners with the Colorado Housing & Finance Authority (CHFA), which does the financial analysis, loan servicing and collection (and charges a 1%

origination fee). Interest rates vary by project and borrower, but have ranged from 2 - 7%. Mr. Ittelson, the Executive Director of CHF, is happy to offer advice as we go forward, and CHF would be interested in partnering with us on projects, though their requirements may be more stringent than our requirements, as their seed money came from the State Historical Fund.

The City of Fort Collins, Colorado, offers a limited Rehabilitation Loan Program for local landmarks. <http://www.fcgov.com/historicpreservation/applications.php> Amounts of up to \$7,500.00 may be borrowed at 0% interest. No monthly payments are due, but any remaining balance is due if the property is transferred or sold. Loans are provided only on a reimbursement basis once eligible work has been completed, and are subject to a 50% match requirement. Loans are approved by the City's Landmark Preservation Commission, and are administered by Funding Partners. <http://www.fundingpartners.org/>

There are many other examples of historic preservation revolving loan funds, including in Providence, RI (<http://www.revolvingfund.org/about.php>), Virginia (<http://www.apva.org/revolvingfund/>), Savannah, GA (<http://www.myhsf.org/revolving-fund/>), New Jersey (<http://www.njht.org/dca/njht/programs/rlf/>), Dubuque, Iowa (<http://www.cityofdubuque.org/index.aspx?NID=773>), New Mexico (<http://www.nmhistoricpreservation.org/programs/mainstreet.html>), Oregon (<http://www.oregonlaws.org/ors/358.666>) and other communities. A very local successful revolving loan program, though not for historic preservation, is the Boulder County EnergySmart program. <http://www.energysmartyes.com/> Although the program encompasses more than just loans, low-interest loans for qualifying energy improvements to residential and commercial structures is a major component of EnergySmart. <https://elevationscu.com/energyloans>

One issue that may have held up consideration of the loan program in the past was concern about staff time and expertise in administering loans. However, more research has indicated that other programs rely on outside entities, such as CHFA or Finding Partners, to handle the more technical aspects of the loans. There are a number of entities that could provide this service, including potentially local banks.

We have drafted a potential resolution for your review, outlining the bare bones of our vision of a revolving loan program. We look forward into entering into a discussion with you regarding how you envision the program might work, and fleshing out details. Particular details which need to be discussed, and for which we would like your direction, include:

- 1) Whether or not a standard interest rate should be applied, or whether the interest rate would be determined at the time of the approval.
- 2) The length of time in which loans could be outstanding.
- 3) Whether loans could only be awarded within a given range (i.e. \$5000 to \$50,000), or whether the amount should be determined on a case-by-case basis with no presumptive range, or perhaps as a percentage of the value of the property.
- 4) Whether the City would require a subordination agreement with any mortgage holders.
- 5) If the recipient of the loan defaults, how would enforcement of the lien be handled?

Thank you for your consideration of this important tool for the preservation of the character of our community.

RESOLUTION NO. _____, SERIES 2013

(HPC draft 2-15-15)

**A RESOLUTION ESTABLISHING A REVOLVING LOAN PROGRAM
WITHIN THE HISTORIC PRESRVATION FUND TO ENCOURAGE
LANDMARK DESIGNATIONS OF HISTORIC PROPERTIES IN THE
CITY OF LOUISVILLE**

WHEREAS, historic properties in the City of Louisville (the “City”) are a major contributor to the character and quality of life of our City; and,

WHEREAS, the City Council, pursuant to the City Charter, established a Historic Preservation Commission to assist it in the preservation and landmarking of these properties; and,

WHEREAS, when properties are locally landmarked they are preserved for future posterity and enjoyment and continue to contribute to the unique character of our City; and

WHEREAS, at the November 4, 2008 election, the voters approved a ballot issue to levy one-eighth of one percent (1/8%) sales tax for purposes of historic preservation purposes within Historic Old Town Louisville, including a provision for low-interest loans; and,

WHEREAS, City Council by Ordinance No. 1544, Series 2008, imposed the tax approved by the voters and established the Historic Preservation Fund, with provision for low-interest loans; and

WHEREAS, the City Council by Resolutions No. 20, Series 2009, No. 20, Series 2010, and No. 2, 2012, created provisions related to the administration and uses of the Historic Preservation Fund; and

WHEREAS, revolving loan funds have been used effectively nationwide for the preservation of historic structures and neighborhoods;

WHEREAS, the utility and life of the Historic Preservation Fund will be extended by a revolving loan program;

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL
OF THE CITY OF LOUISVILLE, COLORADO:**

The following provisions shall be enacted:

Section 1. Creation of a Revolving Loan Program

- a. A revolving loan program shall be created, utilizing funds from the Historic Preservation Fund as supplemented by private and public donations and grants, interfund loans, and any other appropriate source. This program shall be used to provide low-interest loans for the purposes of the preservation, restoration, rehabilitation and protection of properties which are landmarked pursuant to Louisville Municipal Code Chapter 15.36 or subject to a conservation easement to preserve the character of historic Louisville.
- b. As soon as practicable, City Staff will prepare and issue a request for proposals (RFP) for entities to administer the loans from this program. This RFP shall be reissued as often as necessary to ensure that the loan program is effective for the life of the Historic Preservation Fund.
- c. City Staff and the Historic Preservation Commission shall develop applications, informational brochures and other materials necessary to develop the program.

Section 2. Loans from the Revolving Loan Fund

- a. Loan applications shall be submitted to City Staff and shall be subject to a public hearing by the Historic Preservation Commission before final action is taken by City Council.
- b. Loan amounts may be requested in conjunction with grants from the Historic Preservation Fund, subject to limitations established in City Council Resolution, Series 2012. The Historic Preservation Commission may recommend a mixture of loans and grants from the Historic Preservation Fund, even if the applicant solely requested one type of assistance. City Council may also decide to award a mixture of loans and grants, regardless of the type of assistance requested in the application.
- c. Loans may be awarded in amounts between \$_____ and \$_____. Interest rates shall be determined at the time of the award, but shall be below the prevailing market rate. [Note: I'm not sure we want to restrict either the amount of the loan or the interest rate, or if this is the appropriate language, but we should probably at least have this discussion.]
- d. As provided by Section 3.b.ii of City Council Resolution No. 20, Series 2009:
 - i. All loan payments shall return to the Historic Preservation Fund.
 - ii. A loan agreement is required for all loans, which may include a provision for default and acceleration if the completed work is not as contemplated by the conditions of the loan.

- iii. If the work is not completed in compliance with the conditions of the loan, the loan amount shall be due forthwith, with interest.
 - iv. A lien shall be filed against the subject property.
 - v. Costs of collecting any loan shall be charged to the Historic Preservation Fund.
- e. Receipt of any loans, grants or other incentives shall require that the structure be landmarked pursuant to Louisville Municipal Code Chapter 15.36, or if not eligible for landmarking, that the owner grant the City a conservation easement to preserve the outside appearance of the structure or other historic attributes of the structure or site.

PASSED AND ADOPTED this _____ day of _____, 2013.

Robert P. Muckle, Mayor

Nancy Varra, City Clerk

MEMORANDUM

To: Historic Preservation Commission Members

From: Department of Planning and Building Safety

Subject: Comprehensive Plan 2012 Update – Cultural Heritage Section

Date: **April 15, 2013**

Below is the draft language for the Cultural Heritage section of the 2012 Comprehensive Plan Update. The plan will be discussed at the April 16 City Council meeting, with adoption anticipated for the May 7 City Council meeting.

The Framework

CULTURAL HERITAGE (CH)

The Cultural Heritage of Louisville consists of the built environment augmented by the stories of those who have lived here. The social history gives life and meaning to buildings that could otherwise not speak, and to the people associated with these structures that provide a tangible link to the past. The principles and policies below will ensure the Cultural Heritage of Louisville is protected and celebrated, in accordance with the Vision Statement and Core Community Values.

PRINCIPLE CH-1. The City should support and encourage the voluntary preservation of historic structures through its policies and actions.

Policy CH-1.1: The City should create a Preservation Master Plan, updated every five years, to identify resources and guide the City's Historic Preservation Program and the use of Historic Preservation Funds.

Policy CH-1.2: Area and Neighborhood Plans should incorporate historic preservation elements, where appropriate.

Policy CH-1.3: The City's Design Standards and Guidelines, particularly the Downtown Design Handbook, should be updated to incorporate elements of historic preservation.

PRINCIPLE CH-2. Preservation efforts should contribute to a sustainable community.

Policy CH-2.1: The City should highlight preservation projects for their sustainable benefits, expand partnerships with sustainability organizations and programs, and include preservation considerations as it develops new sustainability policies and regulations.

Policy CH-2.2: The City should promote economic sustainability through historic preservation, including:

- Promote Louisville as a destination for visitors interested in cultural and historic attractions.
- Coordinate preservation efforts with other

programs designed to support local businesses.

- Promote adaptive reuse of historic properties.
- Work with economic development partners to include historic resources in redevelopment policies and economic development plans.

Policy CH-2.3: The City should promote environmental sustainability through historic preservation, including:

- Expand partnerships with sustainability organizations and programs .
- Create energy efficiency standards to fit historic resources.
- Highlight green building practices through various City programs.

Policy CH-2.4: The City should work with affordable housing organizations to utilize historic resources.

PRINCIPLE CH-3. City policies should encourage a livable community with a strong sense of history.

Policy CH-3.1: The City should evaluate the programmatic needs of the existing Museum to meet museum standards for allocation of resources by developing a Historical; Museum Campus Master Plan.

Policy CH-3.2: The City should consider creating a Historic Park where buildings slated for demolition can be moved and used as interpretive education to showcase Louisville's mining and agricultural heritage.

Policy CH-3.3: The City should develop procedures for identifying, preserving and protecting archaeological resources.

PRINCIPLE CH-4. The City should provide effective public outreach regarding Cultural Heritage issues.

Policy CH-4.1: The City should provide educational programs such as a rehabilitation skill-building program for local trade workers.

Policy CH-4.2: The City should stage regular outreach events with community organizations that may become

future partners in historic preservation.

Policy CH-4.3: The City should ensure the public is aware the Historic Preservation Fund sales tax sunsets at the end of 2018.

Policy CH-4.4: The City should promote public awareness and understanding of the city's cultural and social history through programs such as an interactive map which provides hyperlinks to social histories of historic properties.

Policy CH-4.5: The City should encourage public participation in the preservation program.

Policy CH-4.6: The City should develop policies that provide clear guidance to the public for the treatment of locally designated historic resources.

Policy CH-4.7: The City should monitor the preservation program on an on-going basis to assure that it maintains a high level of performance and implement an annual program review that includes Certified Local Government programming.

PRINCIPLE CH-5. The City should ensure fiscally-sound best management practices for City historic resources.

Policy CH-5.1: The City should establish minimum maintenance requirements for landmark properties.

Policy CH 5.2: The City should ensure the policies and extents of the grant and demolition review programs match the community's goals with respect to aging structures outside the traditional historic core.

Policy CH-5.3: The City should create an effective and efficient process which guides the voluntary nomination and designation of historic resources and should establish a user-friendly system for the voluntary designation of individual landmarks and districts.

Policy CH-5.4: The City should work with past grant recipients to learn from past experiences.



MEMORANDUM

To: Historic Preservation Commission Members

From: Department of Planning and Building Safety

Subject: Demolition Update – 939 Lincoln

Date: **April 15, 2013**

On March 26, 2013 Planning Staff and two subcommittee members of the HPC reviewed a demolition permit request for the garage located at 939 Lincoln Avenue. The request was for total demolition. Staff did not request a social history.



After deliberation, the HPC subcommittee decided to release the permit because the garage did not appear to have any architectural significance.

MEMORANDUM

To: Historic Preservation Commission Members

From: Department of Planning and Building Safety

Subject: Demolition Update – 721 Front

Date: April 15, 2013

On March 27, 2013 Planning Staff and two subcommittee members of the HPC reviewed a demolition permit request for the structure located at 721 Front Street. The request was for a new roof. Staff did not request a social history.



After deliberation, the HPC subcommittee decided to release the permit because the existing shingles were not original and lacked architectural significance.

MEMORANDUM

To: Historic Preservation Commission Members
From: Department of Planning and Building Safety
Subject: Alteration Certificate Update – 612 Grant
Date: April 15, 2013

On April 3, 2013 Planning Staff and two subcommittee members of the HPC reviewed an alteration certificate request for the landmarked structure located at 612 Grant Avenue. The request was for a new roof.



After deliberation, the HPC subcommittee decided to grant the alteration certificate because the existing roof did not contribute to the historic character of the house and the proposed new roof would not detract from the historic character.

LOUISVILLE HISTORIC PRESERVATION COMMISSION

STAFF REPORT

April 15, 2013

ITEM: Coal Creek Station Planned Unit Development (PUD)
Referral

APPLICANT: BVZ Architects
Gary Brothers, AIA, representative
3445 Penrose Place, Suite 220
Boulder, CO 80301

OWNER: Eastpark Associates, LLP
1600 38th Street, Suite 201
Boulder, CO 80301

PROJECT INFORMATION:

ADDRESS: 1032 E. South Boulder Road

LEGAL DESCRIPTION: Coal Creek Filing 2

DATE OF CONSTRUCTION: circa 1971

REQUEST: A request to move or demolish the converted rail cars on the property in conjunction with a PUD.





HISTORICAL BACKGROUND:

Information is from Historian Bridget Bacon and is attached to this document.

The rail cars were moved onto the site in 1972 to serve as the home for the Gandy Dancer Restaurant. The two boxcars came from the Colorado Southern Railroad, and the caboose came from the Santa Fe Railroad. Staff is operating under the assumption the used cars were at least 10 years old when purchased and brought to the site, thus triggering historic review. Various restaurants operated out of the rail cars until around 2000, after which they have remained vacant. No other structures on the property are more than 50 years old.

REQUEST:

The applicant, BVZ Architects, is requesting to move or demolish the rail cars to allow for a new development including 50 residential units and 31,000 square feet of commercial space. No historic photos of the property could be located.



Current Photos

Because this is a Planned Unit Development (PUD) referral from the Planning Department, no subcommittee review took place. Demolition approval will be valid for three years. The property is outside the Old Town Overlay District and therefore ineligible for local grant funding.

ARCHITECTURAL INTEGRITY:

The existing structures are three rail cars (two boxcars and a caboose) as well as an attached structure on the east side. The rail cars are assumed to be over 50 years old; the attached structure is not. The rail cars appear to have retained their form, though without historic photos it is impossible to say for sure. The siding and roofing appears original, while openings have been boarded over. The bogies (wheel/axel assemblies) appear to be intact, though buried.

CONCLUSION AND RECOMMENDATION:

The rail cars appear to have retained architectural integrity, though without historic photos it is difficult to say for sure. However, there is no evidence of social significance, and while the rail cars are likely over 50 years old, they have not been in place and associated with Louisville for more than 50 years. Therefore, staff does not believe the rail cars would be eligible for local landmarking and recommends not placing a stay on the PUD application.

SUPPORTING DOCUMENTATION AND INFORMATION:

Attached for your review are the following supporting documents:

- Planned Unit Development application letter
- Site plan
- Social history

Letter of Request for the Redevelopment of Coal Creek Station - PUD

PROJECT DIRECTION AND GOALS

It is the intent of this project to become a viable part of the City's commercial and residential community. The project includes the redevelopment of Coal Creek Station, Filing 1, 2, & 3, and the balance of the vacant site. The goal is to redevelop the existing commercial along So. Boulder Rd. and State Hwy 42. The success of the commercial development is enhanced by shifting Cannon Dr. to the South along SH 42 and creating a controlled intersection. By doing so, we need to request an adjustment to Section 17.14.030, Exhibit A, for the street layout and zoning designation. The goal of the residential portion of the site is to extend the existing residential neighborhood to the South onto our site. To allow the new residential neighborhood to be developed with a more compatible density and character, we need to request a density reduction for the MU-R zoning, Section 17.14.060, Table 3, from 12 units to 6.5 units/ac. We also need to change the use table, Section 17.14.050, Table 1 to allow duplexes in the MU-R zone district. This property is an infill site which will add to the existing fabric of the surrounding successful business and residential community. Because this development is located on an "Infill Site", it will be able to provide financial support for the existing services already in place, such as roadways, utilities, and police and fire protection, without adding to the cost of these supporting systems.

SITE CIRCULATION

This development will cater to auto-oriented along with pedestrian and bike users throughout the site. Bike parking is located at each commercial location. The extension of Front St. and re-establishing Frost St. from the original "Caledonia Place" subdivision, helps extend the existing residential circulation onto the site. The development is organized to keep higher activity users closest to the major roadways, and less active users in the residential area. The development has used a pedestrian/bikeway to buffer the residential activity from the commercial users. The landscaped pedestrian/bikeway will connect Main St. with a controlled pedestrian/ bikeway crossing at Cannon Cir. and SH 42 onto the City's open space.

BUILDING CHARACTER

The commercial buildings on the site shall be in keeping with the surrounding building character with a 1 to 1 1/2 story height. The goal of the single story spaces will be to cater to neighborhood retail users.

The goal of the residential elements of the development will be to extend the existing residential neighborhood feel onto our site. We have re-establish Frost Street from the original "Caledonia Place" subdivision located on this site. In addition, the "Energy Star"

standards of construction will be a key to our approach to the quality of the end product. The character study provided indicates a reference to the desired roof forms and front porch design approach. We are asking for a reduced density for the residential portion of the site from 12 units/ac to 6.5 units/ ac. We have also requested to allow “Duplexes” in the MU-R zone, Section 17.14.050, Table 1. This allows a more compatible residential character for the existing neighborhood to the South.

LANDSCAPE AND SITE PARKING

The landscape plan has incorporated the existing healthy mature trees on the site, the majority of which are on the NW corner. This allows for a great starting point for the park like pedestrian/bikeway that moves across the site from West to East, providing a visual buffer from the residential neighborhood to the commercial/retail area.

The parking plan provides more parking than required for the residential and commercial areas of the development. In addition, we have provided bike parking areas within the commercial parking lots to encourage the connection to the bikeway user.



VIEW FROM SOUTH BOULDER ROAD



VIEW FROM CANNON CIRCLE

MASSING STUDIES

NTG

PROJECT DESCRIPTION

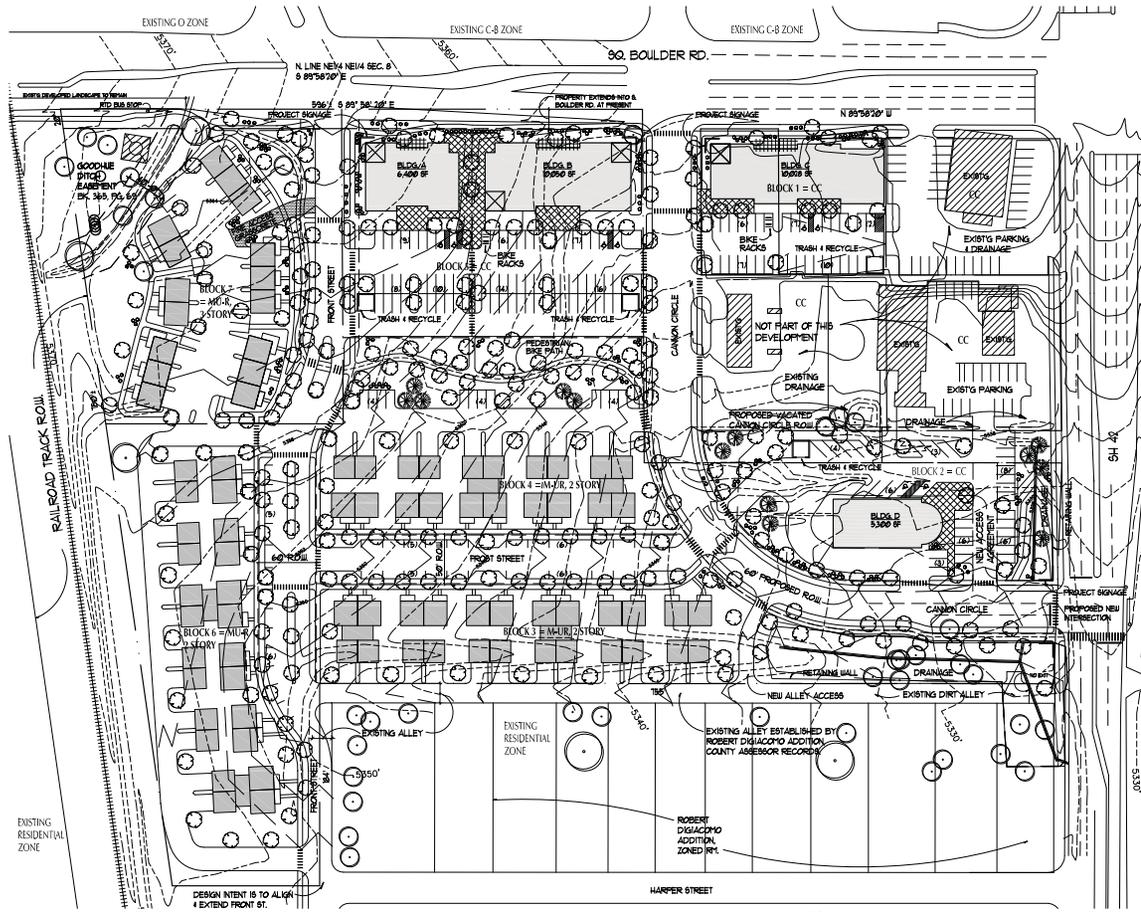
A REDEVELOPMENT OF THE COAL CREEK STATION SITE INTO A MIXED USE COMMUNITY CONTAINING FOUR COMMERCIAL BUILDINGS AND MULTI-FAMILY RESIDENCES. INCLUDED ARE PLAZA SPACES AND A BIKE PATH CONNECTING THE NORTHWEST CORNER OF THE SITE TO THE SOUTHEAST CORNER, ALLOWING A FORMAL CONNECTION TO THE BOULDER COUNTY OPEN SPACE ACROSS HIGHWAY 42. CANNON STREET HAS BEEN RECONFIGURED TO FACILITATE CIRCULATION.

LEGAL DESCRIPTION

A SUBDIVISION IN THE NE1/4 NE1/4 OF SECTION 8, T1S, R69W OF THE 6TH PM, AND A RESUBDIVISION OF COAL CREEK STATION FILING NO. 2 AND A PORTION OF CALEDONIA PLAZA, CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO

PROJECT SUMMARY

ZONING DISTRICT CURRENT:	COMMERCIAL COMMUNITY MIXED USE RESIDENTIAL
PROPOSED:	PLD
BUILDING SETBACKS	
NORTH FL:	5'
EAST FL:	20'
WEST FL:	20'
SOUTH FL:	20'
TOTAL SITE AREA:	481,486 SF = 11.05 ACRES
COMMERCIAL BUILDING FOOTPRINTS	
BUILDING A:	6,400 SF
BUILDING B:	10,950 SF
BUILDING C:	10,028 SF
BUILDING D:	3,300 SF
TOTAL:	31,718 SF
(REPLACING 15,440 SF OF EXISTING COMMERCIAL)	
FLOOR AREA RATIO (FAR):	2.0 : 1
LANDSCAPE COVERAGE:	236,952 SF = 5.43 ACRES
DWELLING UNITS:	50 UNITS, 6.8 DU PER ACRE - 16 (3) STORY UNITS - 34 (2) STORY UNITS
PARKING PROVIDED	
RETAIL:	138 SPACES + 4.3 SP / 1000 SF
RESIDENTIAL:	143 SPACES + 2.9 SP PER UNIT
TOTAL RESIDENTIAL & RETAIL PARKING PROVIDED:	281 SPACES
BUILDING HEIGHTS	
BUILDING A:	35' MAX
BUILDING B:	35' MAX
BUILDING C:	35' MAX
BUILDING D:	35' MAX
RESIDENTIAL:	2 STORY-35', 3 STORY-45'



OWNERSHIP SIGNATURE BLOCK
 HAVE LAD OUT, PLATTED AND SUBDIVIDED THE SAME INTO LOTS UNDER THE NUMBER OF _____ AND ALSO DEDICATED EASEMENTS AS SHOWN ON SAID _____ AS LAD OUT AND DEDICATED ON THIS PLAN _____
 WITNESS MY / OUR HANDS SEALS THIS _____ DAY OF _____, 20____

OWNER NAME AND SIGNATURE _____
 TITLE AND TITLE SIGNATURE _____

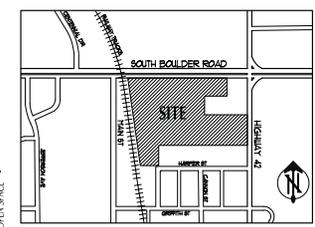
PLANNING COMMISSION CERTIFICATE
 APPROVED THIS _____ DAY OF _____, 20____ BY THE PLANNING COMMISSION OF THE CITY OF LOUISVILLE, COLORADO. RESOLUTION NO. _____ SERIES _____

CITY COUNCIL CERTIFICATE
 APPROVED THIS _____ DAY OF _____, 20____ BY THE CITY COUNCIL OF THE CITY OF LOUISVILLE, COLORADO. RESOLUTION NO. _____ SERIES _____

PLANNER SIGNATURE _____
 CITY CLERK SIGNATURE _____

CLERK AND RECORDER CERTIFICATE
 (COUNTY OF BOULDER, STATE OF COLORADO)
 I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED IN MY OFFICE AT _____ O'CLOCK, P.M. THIS _____ DAY OF _____, 20____ AND IS RECORDED IN PLAIN FILE _____ RECEPTION _____
 CLERK AND RECORDER _____
 DEPUTY _____

VICINITY MAP



SHEET INDEX

- A1 COVER SHEET 1 GENERAL INFO
- A1-B COVER SHEET 1 GENERAL INFO SCHEME B
- A2-B LANDSCAPE & PARKING PLAN
- A3 LANDSCAPE & PARKING PLAN, SCHEME B PROJECT CHARACTER IMAGES
- C1 COVER SHEET PRELIMINARY FLAT
- C2 EXISTING CONDITIONS (TOPOGRAPHY)
- C3 MASTER UTILITY PLAN
- C4 VACATION & ACQUISITION PLAN
- C6 PRELIMINARY DRAINAGE PLAN
- C7 PRELIMINARY GRADING PLAN

LEGEND

- EXISTING BUILDINGS
- PLAZA
- COMMERCIAL
- RESIDENTIAL

DRAWINGS REPRESENT DESIGN INTENT ONLY & ARE PRELIMINARY. CHANGES MAY BE REQUIRED UNDER THE FINAL REVIEW PROCESS.

A REDEVELOPMENT OF
COAL CREEK STATION
 SOUTH BOULDER ROAD & U.S. HIGHWAY 42, LOUISVILLE, COLORADO 80027

BVZ ARCHITECTS
 3445 Perceps Place Suite 220
 Boulder, Colorado 80501
 303-442-0285 • Fax 303-442-0286

PRELIMINARY P.U.D.

PROJECT #1044
 1/31/13

A1



VIEW FROM SOUTH BOULDER ROAD



VIEW FROM CANNON CIRCLE

MASSING STUDIES

0' 60'

PROJECT DESCRIPTION

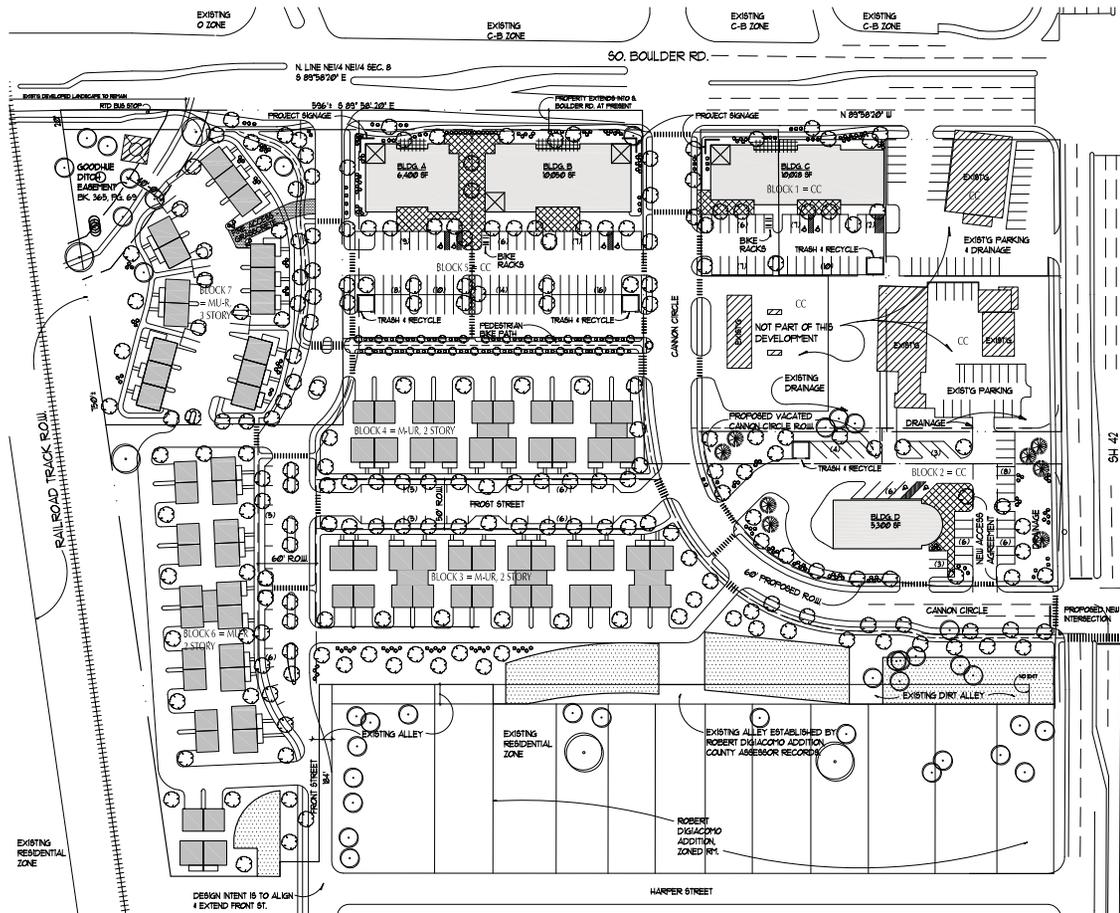
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LEGAL DESCRIPTION

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PROJECT SUMMARY

ZONING DISTRICT	
CURRENT:	COMMERCIAL COMMUNITY MIXED USE RESIDENTIAL
PROPOSED:	PLUD
BUILDING SETBACKS	
NORTH FL:	5'
EAST FL:	20'
WEST FL:	20'
SOUTH FL:	20'
TOTAL SITE AREA: 458,892 SF = 10.53 ACRES	
COMMERCIAL BUILDING FOOTPRINTS	
BUILDING A:	6,400 SF
BUILDING B:	10,950 SF
BUILDING C:	10,028 SF
BUILDING D:	5,320 SF
TOTAL:	31,718 SF
(REPLACING 15,440 SF OF EXISTING COMMERCIAL)	
FLOOR AREA RATIO (FAR): 20 : 1	
LANDSCAPE COVERAGE: 714,709 SF = 4.33 ACRES	
DWELLING UNITS: 50 UNITS, 1.4 DU PER ACRE	
PARKING PROVIDED	
RETAIL:	138 SPACES + 4.3 SF / 1000 SF
RESIDENTIAL:	131 SPACES + 2.6 PER UNIT
TOTAL RESIDENTIAL & RETAIL PARKING PROVIDED: 269 SPACES	
BUILDING HEIGHTS	
BUILDING A:	35' MAX
BUILDING B:	35' MAX
BUILDING C:	35' MAX
BUILDING D:	35' MAX
RESIDENTIAL:	2 STORY-35', 3 STORY-45'



OWNERSHIP SIGNATURE BLOCK
 I HAVE LAD OUT, PLATTED AND SUBMITTED THE SAME INFO LOTS UNDER THE NAME OF _____ AND ALSO DEDICATED EASEMENTS AS SHOWN ON SHAD _____ AND ALSO DEDICATED EASEMENTS AS SHOWN ON SHAD _____ AS I AS OUT AND DEDICATED EASEMENTS ON THIS PLAT _____ WITNESS MY (OUR HANDS) SEALS THIS ____ DAY OF _____, 20__

OWNER'S SIGNATURE _____
 DATE: _____

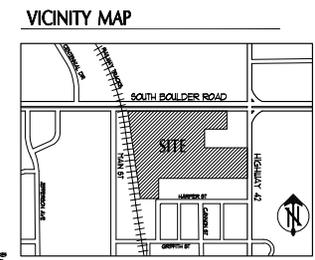
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PLANNING COMMISSION SIGNATURE _____
 CITY CLERK SIGNATURE _____

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CLERK AND RECORDER _____
 DEPUTY _____



- LEGEND**
- EXISTING BUILDINGS
 - PLAZA
 - OLD RAILROAD SPUR
 - COMMERCIAL
 - RESIDENTIAL

DRAWINGS REPRESENT DESIGN INTENT ONLY & ARE PRELIMINARY. CHANGES MAY BE REQUIRED DURING THE FINAL REVIEW PROCESS.

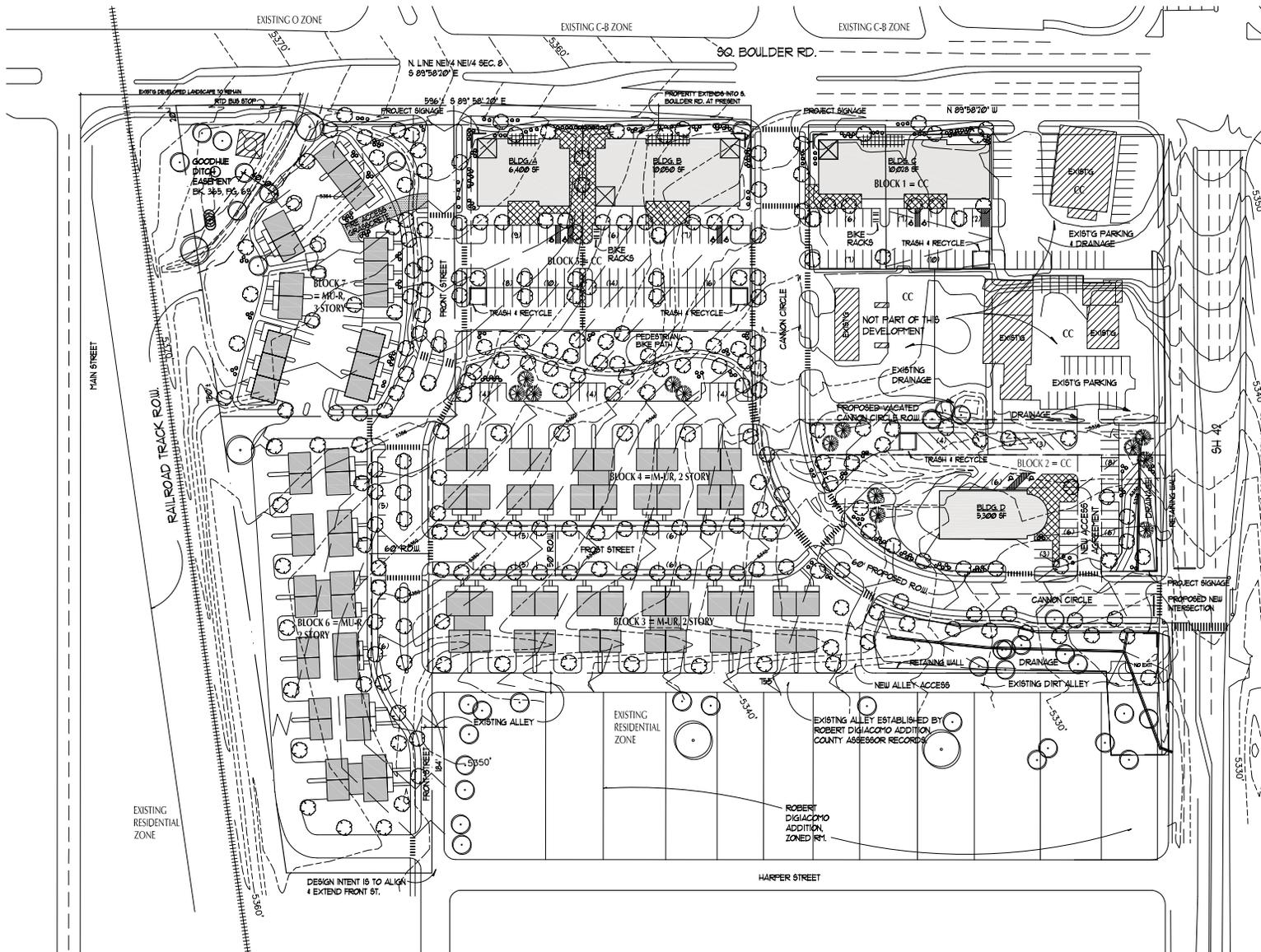
COAL CREEK STATION
 SOUTH BOULDER ROAD & U.S. HIGHWAY 42, LOUISVILLE, COLORADO 80027



PRELIMINARY P.U.D.

PROJECT #1044
 1/31/13

A1-b



LANDSCAPE LEGEND

- NEW DECIDUOUS TREE
- NEW EVERGREEN TREE
- EXISTING TREE
- NEW BUSH

PARKING COUNT

PARKING PROVIDED	
RETAIL:	138 SPACES + 43 SP / 1000 SF
RESIDENTIAL:	143 SPACES + 2.9 PER UNIT
TOTAL RESIDENTIAL + RETAIL PARKING PROVIDED:	281 SPACES

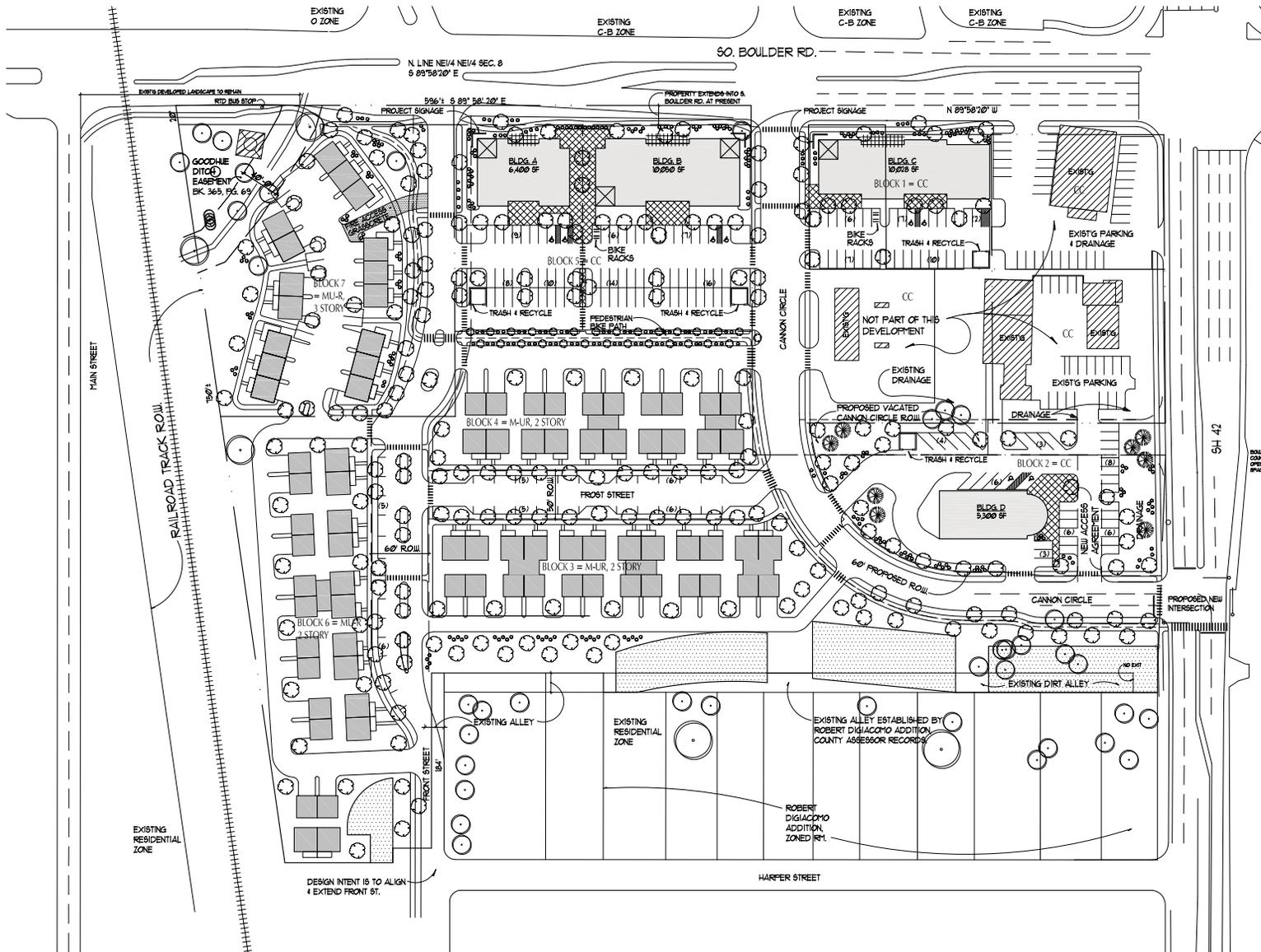
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BVZ
 ARCHITECTS
3445 Penrose Place Suite 220
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 303-442-0285 • Fax 303-442-0296

PRELIMINARY
 P.U.D.

PROJECT #1044

1/31/13



LANDSCAPE LEGEND

- NEW DECIDUOUS TREE
- NEW EVERGREEN TREE
- EXISTING TREE
- NEW BUSH

PARKING COUNT

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PRELIMINARY
 P.U.D.

PROJECT #1044

1/31/13

LANDSCAPE & PARKING PLAN - SCHEME B

DRAWINGS REPRESENT DESIGN INTENT ONLY & ARE PRELIMINARY. CHANGES MAY BE REQUIRED DURING THE FINAL REVIEW PROCESS.

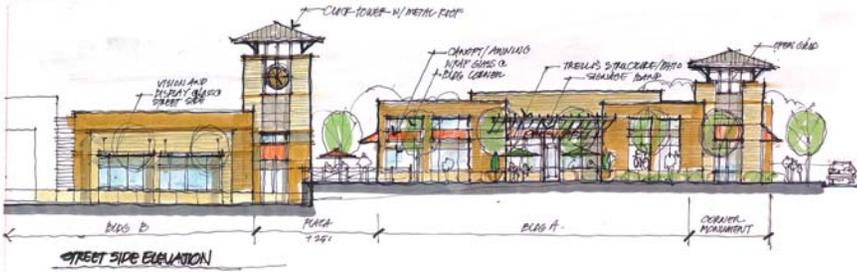
A2-b



COAL CREEK STATION
VIEW @ SO. BOULDER ROAD - NORTH



COAL CREEK STATION
VIEW @ RETAIL/PARKING - SOUTH



STREET SIDE ELEVATION



PARKING SIDE ELEVATION



RESIDENTIAL STUDY

A REDEVELOPMENT OF
COAL CREEK STATION
SOUTH BOULDER ROAD & U.S. HIGHWAY 42, LOUISVILLE, COLORADO 80027

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P.U.D.

PROJECT #1044
1/31/13

DRAWINGS REPRESENT DESIGN INTENT ONLY & ARE PRELIMINARY. CHANGES MAY BE REQUIRED DURING THE FINAL REVIEW PROCESS.

A3



1000 E. South Boulder Rd.

Legal Description per County Assessor's Office: Lots 3 thru 6, Coal Creek Station 2;
Current owner listed in Boulder County property records is Coal Creek Station Properties LLC.

Year of Construction: This restaurant made out of old train cars was established in 1972. The exact ages of the train cars are not known.

Summary: In 1972, this structure was created from old train cars that included boxcars and a caboose in order to create a railroad-themed restaurant by the railroad tracks in Louisville. According to a newspaper article from that time, it was the first phase in what was to be a 14-acre shopping and residential complex called Coal Creek Station. The last restaurant to have been housed in the structure is believed to have closed in around 2000.

Local Area Background

It is believed that the area being developed as part of Coal Creek Station in the 1970s had not previously been developed, with the exception of the establishment of the Wagon Wheel Inn (now Union Jack Liquor), which was established in the 1940s, and the construction of a few houses (now gone) in the early 1900s. The 1909 Drumm's Wall Map of Louisville shows this area to consist of about three platted blocks of the Caledonia Place subdivision with "Vacated 1-6" written across it. The reason for the area having been vacated is not known.

This area is just north of the Little Italy neighborhood of Louisville, which did appear on the 1909 map and which already included many houses.

The 1909 map shows that South Boulder Rd. was at that time called Wyman Street. The restaurant at 1000 E. South Boulder Rd. was found to have been referred to by its Wyman St. address even as late as the 1970s.

Founding of the Gandy Dancer Restaurant in 1972

Coal Creek Station and the establishment of a restaurant made from rail cars as part of this development were the endeavors of Clifford Brock; his mother, Eva Brock; and William Arnold. They purchased at least part of the real property for the Coal Creek Station development in 1969 and formed the A & B Company. In 1972, they filed the trade name affidavit for the name "Coal Creek Station" with the County.

Eva Brock was a well known realtor in the Boulder-Louisville area. The agency she established is credited with having planned developments between Baseline and South Boulder Rd. in the vicinity of 76th St. Her son, Clifford, also worked in the realty business and had a construction business. William Arnold was affiliated with the Arnold Bros. Motor Company of Boulder.

According to a recent interview with Clifford Brock, the idea to make a train-themed restaurant next to the railroad tracks evolved out of a desire to turn a negative into a positive. Brock and the other owners thought that people generally wouldn't want to be situated next to trains going by. The purpose of having a train-themed restaurant by the tracks was "to make it enjoyable instead of an eyesore."

Brock described some of the challenges of developing this area. A railroad trash dump was located on the narrow piece of land between the main tracks and a railroad spur leaving the main tracks to go eastward. This spur was located immediately north of the houses on Harper Street in the Little Italy neighborhood. The trash dump had been used by the railroad for getting rid of trash from trains going through this area. The dump had to be leveled and the trash disposed of.

Brock also stated that in the early 1970s, the City of Louisville required the investors to bring in a drilling rig to conduct drilling tests to determine whether there were underground voids due to coal mining that historically took place under the surface of this property.

In 1971, Brock checked around to find out about the availability of old train cars. He originally acquired four boxcars and one caboose that were placed at the site. The two boxcars that are still at the site were purchased from the Colorado Southern Railroad Company. Available information indicates that the cars belonged to a crew that built bridges. One car was originally a shower car with a potbelly stove. The second car has been described as either a sleeping car or a tool storage car. The cars were transported to Louisville on the main railroad line.

The caboose came was purchased from the Santa Fe Railway. It is said to have been transported to Louisville by flatbed semi-truck.

Brock stated that a section of railroad tracks was constructed next to and parallel to the real railroad tracks. The boxcars and caboose were lifted by crane and placed on the duplicate tracks, and the wheels were welded to both the cars and the tracks.

Brock's construction business insulated the cars and built tables and chairs. He stated that he also built the two story addition on the east side that included a kitchen and walk-in cooler. This was built to resemble a railroad depot. An open depot platform next to the caboose was for outdoor dining. The separate structure with the round top was envisioned as a railroad water tower. The name "Gandy Dancer" was selected for the restaurant; the phrase historically was used to refer to a workman who installed railroad track.

A *Boulder Daily Camera* article dated October 15, 1972 described the new Gandy Dancer restaurant that was set to open. As stated in the article, the partners in the restaurant itself were Cliff Brock and brothers Chuck Saenz and Al Saenz. Chuck Saenz was manager.

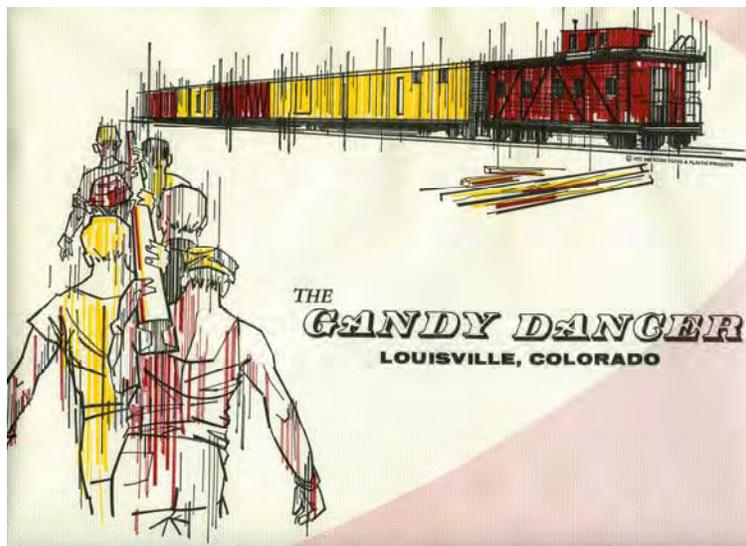
The restaurant, intended to be upscale, could seat about 116 people. The dinner menu included steak, crab legs, lobster, and prime rib. The caboose was primarily used for drinking and dancing and was sometimes referred to as a lounge. Customers were at times allowed to go into the upper part of the caboose. Recollections by current local residents indicate that it was a popular destination and enjoyed by many. The passing trains were part of the attraction.

The following photos accompanied the Daily Camera article. The first shows Clifford Brock on the depot platform at the Gandy Dancer Restaurant, while the second shows manager and partner Chuck Saenz in the restaurant:





The following image shows the placemat design of the Gandy Dancer:



The restaurant in the old rail cars constituted the first phase in what was to be a 14-acre shopping and residential complex, according to the 1972 *Daily Camera* article. The article went on to say that “[f]uture plans for the entire site include a supermarket, four story apartment building, a professional office building and more shops.”

After the Gandy Dancer had been in business for three or four years, different restaurant managers took over the lease in 1975 or 1976.

The four boxcars used to extend northward nearly to South Boulder Road. At some point, the northernmost two boxcars were removed and were replaced with a ramp, leaving two boxcars and the caboose. The year that this took place is not known.

An effort was made to locate a Boulder County Assessor card for this property by conducting several searches under different addresses and legal descriptions, but one could not be located.

Other Restaurant Names and Closure

The restaurant in the train cars continued under different names and different management for about 25 years. For at least part of this time, a boxcar could be used for private events for a fee.

Following its years as the Gandy Dancer, it became known as Coal Creek Junction in the late 1970s and early 1980s. A *Longmont Daily Times-Call* newspaper article from October 30-31, 1976 entitled “Louisville Restaurant Roundup” stated:

If you’d like to dine on a “train to nowhere,” Coal Creek Junction Restaurant is the place to do it. The restaurant on Boulder Road occupies one end of a string of old boxcars which have been renovated into a shopping and dining center. . . . Besides the atmosphere, the cuisine is different, with buffalo steaks topping the menu. The[y] also serve prime rib, steak and seafood. . . . To the delight of rushed business people, a “full-line lunch menu” includes a complimentary glass of wine.

In the 1980s and 1990, the restaurant was called Brothers Three. According to sources, it was next Kaddy Shack BBQ, then Hickory Sticks Smoke House & Grill. An exact date of when it closed its doors could not be located, but some local residents believe it to have been in around 2000.

Sources

The preceding research is based on a review of relevant and available online County property records, census records, oral history interviews, and related resources, and Louisville directories, newspaper articles, maps, files, obituary records, survey records, and historical photographs from the collection of the Louisville Historical Museum.

MEMORANDUM

To: Historic Preservation Commission Members
From: Department of Planning and Building Safety
Subject: Grain Elevator
Date: **April 15, 2013**

At the April 2, 2013 City Council meeting, Council voted to move forward with contract negotiations with the Olde Town Group for the redevelopment of the Grain Elevator. Council expressed many of the same concerns as HPC, including the cost of rehabilitation and the transfer of the property, but decided to attempt to solve these issues during the contract negotiation. This action by Council does not commit the City to anything and any contract will be presented to HPC before approval by Council.

MEMORANDUM

To: Historic Preservation Commission Members

From: Department of Planning and Building Safety

Subject: Reconnaissance Survey/Austin Niehoff HSA/Jefferson Place

Date: **April 15, 2013**

The Reconnaissance Survey is proceeding well. The project is still on track for completion by the end of June. The Austin-Neihoff Historic Structure Assessment is nearing completion; final recommendations will be submitted to the State soon. The State is currently reviewing a draft of the Jefferson Place Survey. Kathy Lingo of Avenue L will be at the May 20 meeting to present the results of the survey.